

CONCORD METROPOLITAN DISTRICT

8390 E. CRESCENT PKWY., STE. 300
GREENWOOD VILLAGE, CO 80111
303-779-5710 (O) 303-779-0348 (F)
www.concordmetropolitandistrict.com

NOTICE OF SPECIAL MEETING AND AGENDA

DATE: Wednesday, August 2, 2023
TIME: 11:30 a.m.
LOCATION: (Hybrid) CliftonLarsonAllen LLP
8390 E. Crescent Pkwy., Ste. 300
Greenwood Village, CO 80111

You can also attend the meetings in any of the following ways:

1. Online Microsoft Teams Meeting – via link below:

ACCESS: https://teams.microsoft.com/l/meetup-join/19%3ameeting_MDlyMTY3ZDYtNTIzOS00MTgxLWJkNzAtMjUyNjl5Y2U2MWNj%40thread.v2/0?context=%7b%22Tid%22%3a%224aaa468e-93ba-4ee3-ab9f-6a247aa3ade0%22%2c%22Oid%22%3a%22d42bab28-fbd8-4e65-a395-965cf9ef152f%22%7d

OR

Dial In: 1-720-547-5281 Conference ID: 523 846 276#

<u>Board of Directors</u>	<u>Office</u>	<u>Term Expires</u>
Jeff Evans	President	May 2027
Hank Vanderryst	Secretary/Treasurer	May 2025
Mike Evans	Assistant Secretary/Treasurer	May 2025
VACANCY	Assistant Secretary/Treasurer	May 2025
VACANCY	Assistant Secretary/Treasurer	May 2027

I. ADMINISTRATIVE MATTERS

- Call to Order and approval of agenda.
- Present Disclosures of Potential Conflicts of Interest.
- Confirm quorum, location of meeting and posting of meeting notices.
- Public Comment

E. Minutes of the May 3, 2023 Regular Meeting (enclosure)

II. FINANCIAL ITEMS

A. Review and Accept June 30, 2023 Unaudited Financial Statements and Cash Position Report (to be distributed)

B. Ratify Approval of Claims Totaling \$9,659.73 and Directors' Fees (enclosure)

III. LEGAL MATTERS

IV. MANAGER MATTERS

A. Landscape Maintenance Updates

B. Review and Consider Approval of Revised Guidelines and Application Form (enclosures)

V. DIRECTOR MATTERS

VI. OTHER BUSINESS

A. Confirm Quorum for Next Meeting – November 1, 2023 at 12:00 p.m. at CliftonLarsonAllen LLP, 8390 E. Crescent Pkwy., Ste. 300, Greenwood Village, CO 80111

VII. ADJOURNMENT

The next regular meeting is scheduled for November 1, 2023.

RECORD OF PROCEEDINGS

MINUTES OF A REGULAR MEETING OF
THE BOARD OF DIRECTORS OF THE
CONCORD METROPOLITAN DISTRICT (THE “DISTRICT”)
HELD
MAY 3, 2023

A regular meeting of the Board of Directors of the Concord Metropolitan District (referred to hereafter as the “Board”) was convened on Wednesday, May 3, 2023, at 12:00 p.m. This meeting was open to the public.

ATTENDANCE

Directors In Attendance Were:

Jeff Evans, President
Hank Vanderryst, Secretary/Treasurer
Mike Evans; Assistant Secretary (MS Teams)

Also, In Attendance Were:

Denise Denslow, Shauna D’Amato & Lindsay Ross; CliftonLarsonAllen LLP
Russ Dykstra; Spencer Fane LLP (via MS TEAMS)

ADMINISTRATIVE MATTERS

Call to Order and Approval of Agenda: Ms. Denslow called the meeting to order at 12:00 p.m.

Upon a motion duly made by Director Jeff Evans, seconded by Director Vanderryst and, upon vote, unanimously carried, the Board approved the Agenda as presented.

Disclosures of Potential Conflicts of Interest: Written conflict of interest disclosure statements were filed with the Secretary of State on behalf of the District 72 hours prior to this meeting.

Confirm quorum, location of meeting and posting of meeting notices: A quorum was confirmed and Ms. Denslow noted all notices have been posted.

Administer Oath of Office and Election of Officers: Ms. Brandenburger administered the Oath of Office to Jeffrey Evans. Upon a motion duly made by Director Vanderryst, seconded by Director M. Evans and, upon vote, unanimously carried, the Board approved the slate of officers as follows:

President: Jeffrey Evans
Secretary/Treasurer: Hank Vanderryst
Assistant Secretary: Mike Evans

Public Comment: There were no public comments.

Minutes of February 1, 2023 Regular Meeting: Upon a motion duly made by

RECORD OF PROCEEDINGS

Director Vanderryst, seconded by Director J. Evans and, upon vote, unanimously carried, the Board approved the February 1, 2023 Regular Meeting Minutes.

FINANCIAL MATTERS

Accept March 31, 2023 Unaudited Financial Statements and Cash Position Report: Ms. Ross reviewed the March 31, 2023 Unaudited Financial Statements and Cash Position Report with the Board. Following review and discussion, upon a motion duly made by Director Vanderryst, seconded by Director J. Evans and, upon vote, unanimously carried, the Board accepted the March 31, 2023 Unaudited Financial Statement and Cash Position Report.

Ratify Approval of Claims Totaling \$25,667.50 and Directors' Fees: Ms. Ross reviewed the claims and Directors' fees with the Board. Following review, upon a motion duly made by Director Vanderryst, seconded by Director J. Evans and, upon vote, unanimously carried, the Board ratified the claims totaling \$25,667.50 and Directors' Fees as presented.

Approve Draft 2022 Audit: Ms. Ross reviewed the draft 2022 Audit with the Board. Following review, upon a motion duly made by Director J. Evans, seconded by Director Vanderryst and, upon vote, unanimously carried the Board approved the 2022 Audit, subject to legal final review and receipt of a clean opinion from the Auditor.

LEGAL MATTERS

None.

MANAGER MATTERS

Landscape Maintenance Updates: Ms. Denslow noted there were no updates to report.

1. **Ratify DesignScapes, Inc. Monument Sign Landscape 2023 Agreement:** Upon a motion duly made by Director J. Evans, seconded by Director Vanderryst and, upon vote, unanimously carried, the Board ratified the DesignScapes, Inc. Monument Sign Landscape 2023 Agreement.

Updates on Design Review: Ms. Denslow provided an update to the Board review the Concord Business Center Design Guidelines.

DIRECTOR ITEMS

None.

OTHER BUSINESS

Quorum for Next Meeting – August 2, 2023 Regular Meeting at 12:00 p.m.: The Board confirmed a quorum for the August 2, 2023 meeting.

ADJOURNMENT

There being no further business to come before the Board at this time, Director J. Evans adjourned the meeting at 12:38 p.m.

RECORD OF PROCEEDINGS

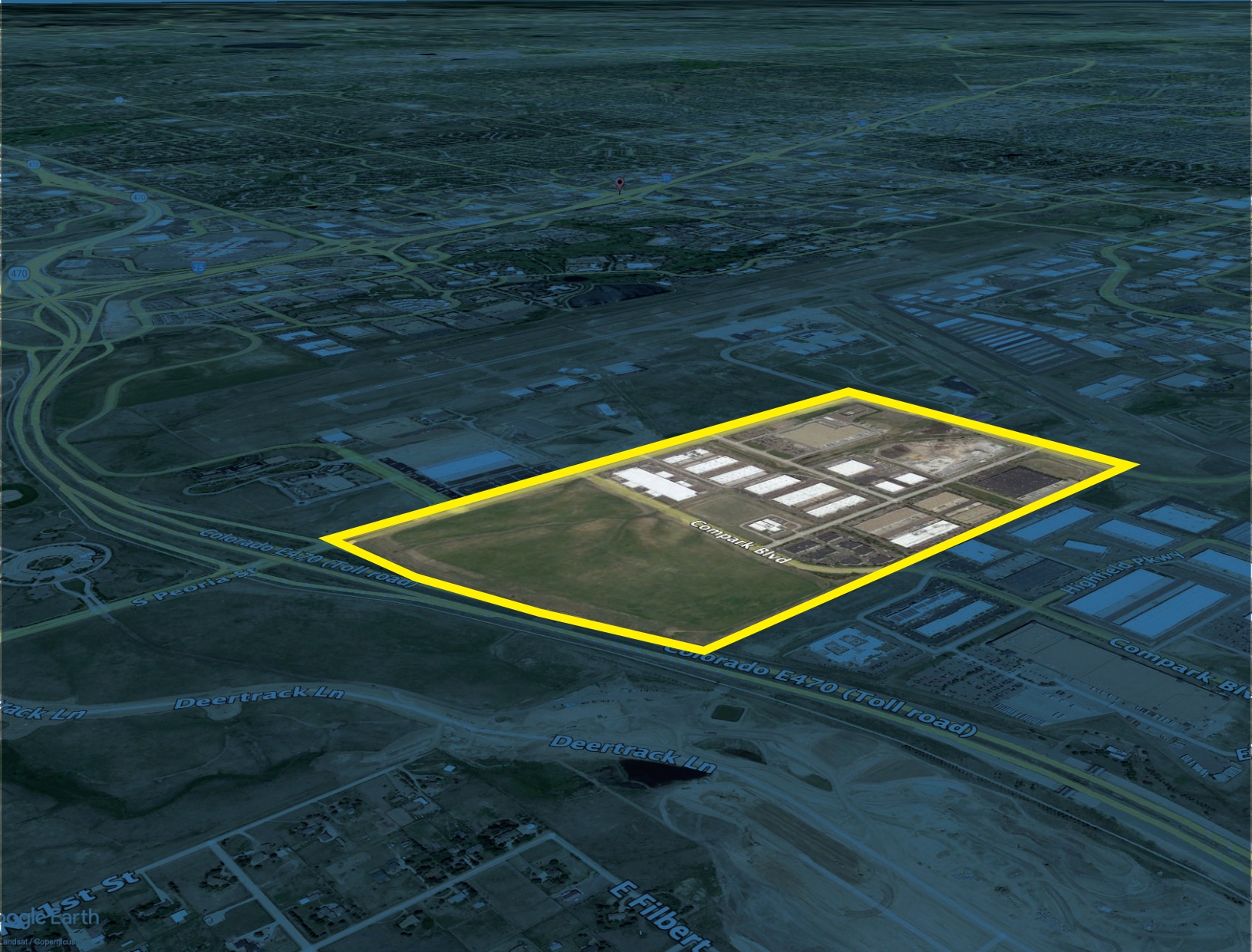
Respectfully submitted,

By _____
Secretary for the Meeting

Concord Metropolitan District
Claims Paid through July 26, 2023

Process Date	Vendor	Invoice Number	Payment Method	Amount
5/22/2023	Arap. County Water & Wastewater	128842APR23	Other	\$ 81.60
6/13/2023	CliftonLarsonAllen LLP	Multiple	BILL EFT	5,755.06
6/13/2023	Colorado Designscapes Inc	Multiple	BILL Check	513.18
6/13/2023	Spencer Fane LLP	Multiple	BILL EFT	797.48
6/13/2023	StudioBridge, LLC	23-103	BILL Check	1,260.00
6/13/2023	Xcel Energy	825994163	BILL Check	12.89
6/20/2023	Arap. County Water & Wastewater	128842MAY23	Other	270.67
Subtotal Claims Paid				\$ 8,690.88

Process Date	Description	Payment Method	Amount
1/31/2023	11/2/2022 Payroll - Hank & Jeff	Direct Deposit	215.30
1/31/2023	2/1/2023 Payroll - Hank	Check	107.65
5/2/2023	2/1/2023 Payroll - Jeff & Mike	Direct Deposit	215.30
5/19/2023	5/3/2023 Payroll - Hank	Check	107.65
5/22/2023	5/3/2023 Payroll - Jeff & Mike	Direct Deposit	215.30
7/25/2023	8/2/2023 Payroll - Hank	Check	107.65
Subtotal Payroll Paid			\$ 968.85
Total Claims Paid			\$ 9,659.73



CONCORD BUSINESS CENTER

DESIGN GUIDELINES

DRAFT - MAY 1, 2023

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NOTICE / DISCLAIMER

The materials provided within this manual are for informational purposes only to assist in the development of commercial properties within the Concord Business Center. Although the information contained herein is from sources deemed reliable, there are no expressed or implied warranties as to the accuracy of said information. It is the obligation of the Applicant and its consultants to conduct independent investigations and verify all matters pertaining to rules, regulations, ordinances, and codes of Douglas County, Colorado and the Concord Business Center. The information contained herein is subject to change without notice.

SECTION 1

PURPOSE

Concord Business Center is a 100 acre Mixed Use park located in Douglas County north of C-470 on Peoria Street, south of Centennial Airport. The design vision for the Concord Business Center is to create and maintain a high quality business center in architecture and landscape.

The purpose of this Document is to assist a developer, tenant, or new owner who wishes to make improvements to their property within the Concord Business Center. The Design Guidelines will articulate the standards required for new improvements, define the process for application to make improvements, and provide a checklist of exhibits required for the application to the Architectural Control Committee (ACC). These guidelines do not address street ROW improvements.

The ACC shall establish and implement all architectural and landscaping criteria, rules, regulations, and standards relative to the property. The ACC shall adopt rules of procedure governing the time, place, and manner in which the business of the committee will be conducted. Decisions shall be made by the ACC on a consistently applied basis, with a view toward the harmonious and attractive development of the property and to promote and safeguard the interests of all Owners and the declarants without discrimination.

These Design Guidelines are a revised and streamlined set of standards and processes to assist the Applicant in successfully completing their desired improvements. These guidelines are based on previously prepared and recorded documents. The Applicant is responsible for meeting all requirements of previous recorded documents and plans associated with the Concord Business Center, and all City, County and State Codes and Regulations.

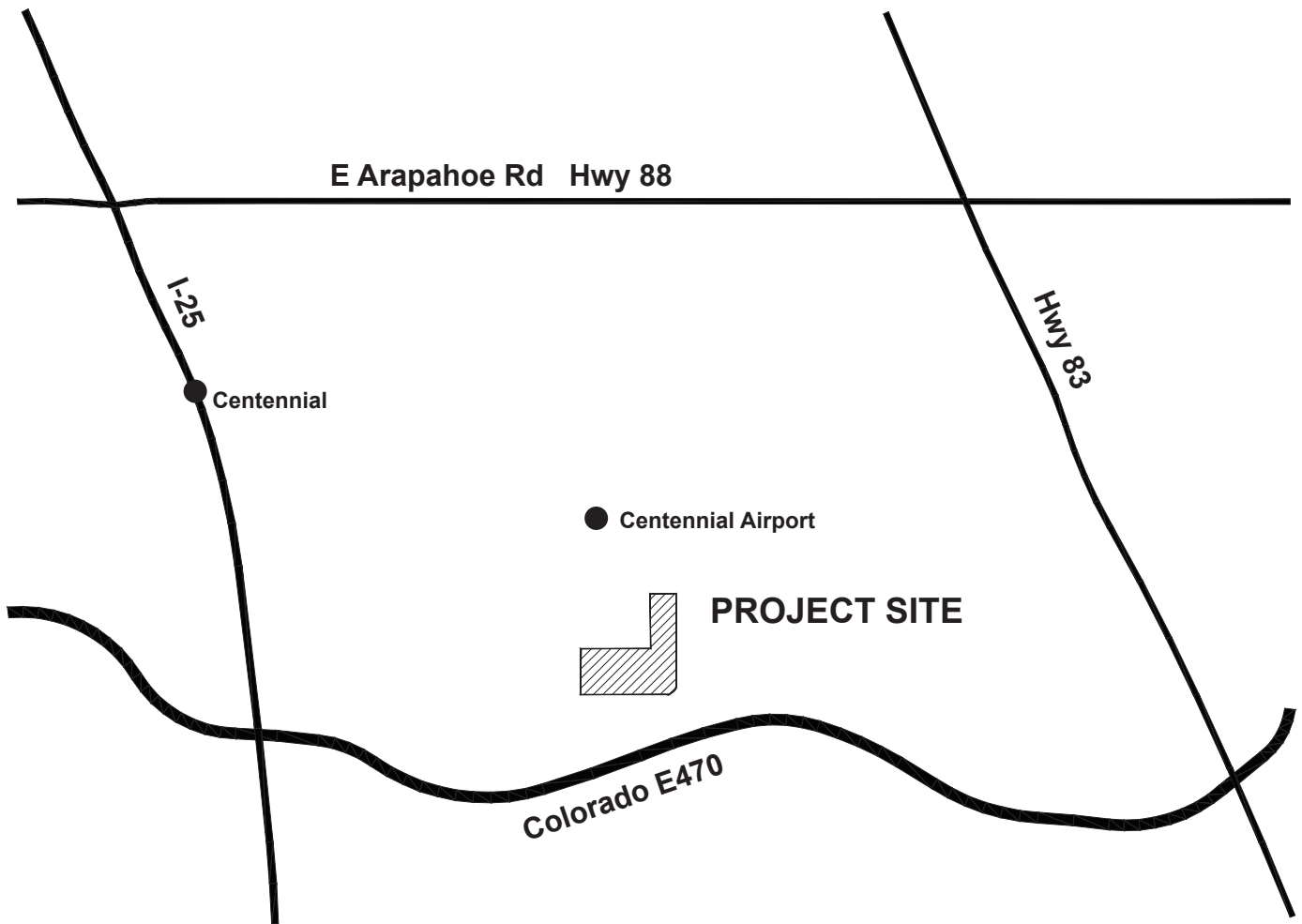
Additional references:

1. Douglas County Industrial Park Planned Development and Light Industrial Zoning (PD)
2. Concord Business Center Development Manual (recorded with Douglas County Clerk and Recorder 10/22/99)
3. Declaration of Protective Covenants

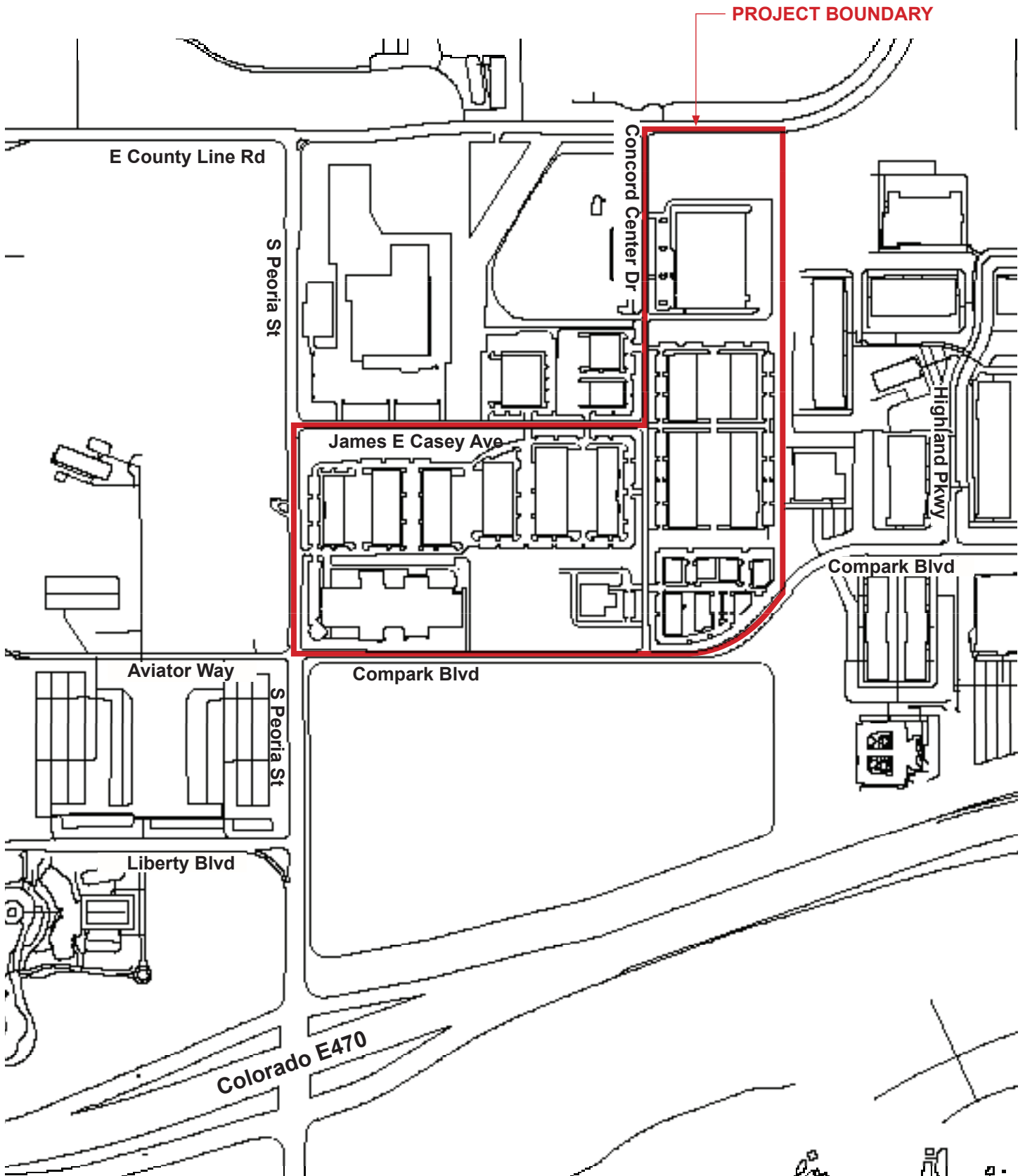
SECTION 2

Location

The Concord Business Center is located in Douglas County, Colorado. It borders E. County Line Rd to the north, Compark Blvd to the south, S. Peoria St. to the west, and adjacent development to the east.



VICINITY MAP



SITE MAP

CONCORD BUSINESS CENTER

of the construction to ensure compliance with the approved plans and specifications.

Any changes to the approved plans during construction must be approved in writing by the ACC prior to commencement of proposed changes.

Upon substantial completion of construction of the improvements, the Applicant shall notify the ACC that it is ready for an inspection. The ACC, upon request by the Applicant, will inspect the approved improvements to determine if the improvements have been constructed in accordance with all approved plans and specifications and if all other aspects of the site development are in compliance with the approved application. Unless there is a need for completion or corrections as discovered during the inspection (in which case a re-inspection is required), the ACC shall issue a Certificate of Compliance to the Applicant.

Rejection of Application

Without limiting the generality of the ACC's discretion to approve the required submittals, the ACC may disapprove any plans submitted for any one or more of the following reasons, or other reasons the ACC may specify:

1. Failure of the submittals or the Applicant to comply with any of the design or development standards set forth in the Design Guidelines.
2. Failure by the Applicant to include in the submittals such information as may have been required or reasonably requested by the ACC.
3. Objection by the ACC to the exterior design, color scheme, finish, proportions, style or architecture, height, appearance, or materials of any proposed improvement.
4. Incompatibility of any proposed improvement with existing or future improvements in the vicinity of the proposed improvements, which determination shall be made by the ACC in its reasonable discretion.
5. Objection by the ACC to the location of any

SECTION 3

APPROVAL OF PLANS

Subject to the provisions set forth in the Declaration of Protective Covenants, no initial construction, exterior alteration or demolition of the common areas, any building site, building or other improvement may be initiated without the approval of the plans and specifications for such construction or alteration by the Architectural Control Committee (ACC). The ACC shall have discretion to determine whether plans and specifications submitted for its approval are acceptable to the ACC, and the ACC shall be entitled and empowered, in accordance with the provisions of the Declaration of Protective Covenants, to enjoin or remove any construction undertaken pursuant to plans and specifications that have not been Approved by the ACC. All improvements to properties must meet the requirements of these guidelines, zoning conditions and the recorded Planned Development.

Review Procedure

At each stage of the application process, a letter from the ACC will be sent to Applicant outlining the ACC's responses to the submittal. The Applicant shall address the ACC's comments in the following submittal. Upon completion of the application process, the ACC will state whether Approval has been granted and outline any conditions associated with the approval or reasons for denial thereof. In the event conditional approval is given, final approval will not be granted until all conditions have been satisfied. Approval must be obtained before the Applicant may proceed with their project. Projects submitted for review will be processed in the order of which they are received. Review time of Applications is dependant upon the level of complexity, size, etc.

Once the improvements have been unconditionally approved by the ACC, the Applicant shall provide to the ACC written notice of construction initiation at least seven (7) days prior to commencement of construction. The ACC may make periodic in-progress inspections

- proposed improvement upon any building site or common area or with reference to other building sites or the common areas.
6. Objection by the ACC to the grading plan.
 7. Objection by the ACC to proposed parking areas due to insufficient parking coverage, the location of the parking areas or the visibility of such parking area from any other building sites or common areas or any of the streets and roads located within or outside the property.
 8. Failure of the submittals or the Applicant to comply with any applicable zoning, building, land use, or other laws, ordinances, rules, or regulations of any governmental authority affecting development of the subject building, improvements or building site, including, without limitation, the Zoning Conditions or any other restrictions limiting the percentage of building site which may be covered by the building, other improvements, or parking areas.
 9. Objection to the ACC to the proposed lighting, landscaping or signage for the building site.
 10. Objection by the ACC to the proposed construction schedule for the improvements.

Approval of any plans with regard to an improvement (i) shall not be deemed a waiver of the ACC's right, in its discretion, to disapprove similar plans, or any of the features of elements, submitted for any other building, improvements or building site, and (ii) shall be final as to the building site for which they have been submitted, provided that the improvements on such building site are constructed and maintained in conformity with the approved submittals, and the applicant has obtained a Certificate of Compliance.

Under no circumstance shall a Person submit its plans and specifications to the City or any other governmental authority having jurisdiction for review and approval unless and until it shall have first received approval of such plans and specifications from the ACC.

CONCORD BUSINESS CENTER

Additional Design Criteria

In addition to the design criteria set forth in the Design Guidelines, the PD, the Concord Business Center Development Manual, and the Declaration of Protective Covenants, the ACC may from time to time promulgate and adopt additional design criteria that are not consistent with the objectives of the Declaration of Protective Covenants. Any such additional design criteria adopted by the ACC may from time to time be amended by further action of the ACC.

Variances

The ACC, in its reasonable discretion, may from time to time authorize variances from compliance with any of the standards adopted by the ACC when circumstances such as topography, natural obstructions, hardships, or aesthetic, environmental, or planning objectives or considerations may so warrant. Each such variance must be approved by the ACC. If such a variance is granted, no violation of the Declaration of Protective Covenants shall be deemed to have occurred with respect to the matter for which the variance was granted. The granting of a variance shall not operate to waive or to render unenforceable any of the terms and provisions of the Declaration of Protective Covenants for any purpose except as to the particular improvement, building site, provision, and instance covered by the variance, nor shall the granting of a variance be deemed to set a precedent with respect to any subsequent requests for variances. Notwithstanding any provision to the contrary contained in the Declaration of Protective Covenants, the ACC shall not delegate to any single member or group of members or to any other person the power to grant variances. Upon granting of a variance, the ACC shall execute a document, in recordable form, evidencing the variance.

Post-Approval Inspections

Following approval of any plans from the ACC, the ACC shall have the right, during reasonable hours and without prior notice to enter upon and inspect any building site or improvements then under construction to determine whether

the plans that have been approved by the ACC and whether development and construction is proceeding substantially in accordance with the approved plans. If the ACC shall determine that such plans have not been approved or that plans which have been approved are not being complied with in every material respect, the ACC may in its discretion give the Applicant, Owner or Occupant of such building site and improvements written notice to such effect, along with 30-day period to cure such non-compliance. At any time after the expiration of the 30-day cure period, the ACC shall be entitled to enjoin further construction and to require the removal or correction of any work in place that does not comply with approved plans. If any improvements shall be altered or replaced or maintained on any building site otherwise than in substantial conformity with the approved plans, such action shall be deemed to have been undertaken without requisite approval of the ACC and to be in violation of the Declaration of Protective Covenants, and the ACC shall be entitled to take action as permitted under the Declaration of Protective Covenants. The Owner of the building site shall designate a person to act as the Owner's representative with respect to submittals to the ACC, and such person shall be responsible for construction of all improvements in accordance with the approved plans. A final Certificate of Compliance executed by at least three members of the ACC, which certifies the substantial conformity of the construction of the improvements with the approved plans, shall constitute conclusive evidence of such conformity.

Interior Alterations

An Owner or Occupant may make improvements and alterations within the interior of any building on its building site without first obtaining ACC approval, provided, however, that no person shall make any structural or other alterations in or to the interior of any improvements on its building site or remove any portion thereof or make any additions that (i) would involve public areas or other areas that would be visible from any boundary of the building site (ii) would materially change the exterior appearance of such

improvements, or (iii) would or might jeopardize or impair the safety, soundness, or structural integrity of such improvements or of any other improvements in the property, without first submitting plans and obtaining ACC's approval; nor shall any person make any alterations or additions that impair any easements or the improvement setbacks without first obtaining the ACC's approval.

Construction After Approval

Upon receipt of approval from the ACC, the Applicant to whom the approval is given shall, as soon as practicable, satisfy any conditions thereof and diligently proceed with the commencement and completion of all approved construction. Unless work on the approved construction shall be commenced within one (1) year after the date of such approval and thereafter continuously and diligently prosecuted to completion, the approval automatically shall be revoked, unless the ACC has given written permission for an extensions of time for commencing and completing work. Construction of improvements on a building site or common areas shall include the installation of the approved landscaping and irrigation system.

Actions Binding

The ACC shall exercise its judgment to see that all buildings and improvements (including landscaping) conform and harmonize with existing and anticipated buildings and improvements in the property regarding final design, quality, type of construction, materials, color, setting, height, grade, and finished ground elevation. Actions of the ACC through its approval or disapproval of plans, specifications, and other information submitted pursuant to the Declaration of Protective Covenants, or in respect of any other matter before it, shall be conclusive and binding on all parties.

Communication to the ACC

All communication to the ACC shall be addressed as follows:

Concord Business Center Architectural Control Committee
Clifton Larson Allen
8390 E. Crescent Parkway, Suite 300
Greenwood Village, CO 80111
Attention: Denise Denslow

Rights of Third Parties

Neither the approval by the ACC of any plans or other documents with regard to an improvement nor the issuance of any certificate or statement by the ACC shall constitute any judgment, opinion, representation or warranty on the part of the ACC or any member thereof, the ACC staff or the appointing authority or any officer, director, shareholder, employee, agent, or member of any thereof, as to the quality or soundness of the matters described in such plans or documents or of such improvements or their fitness for any particular use or application. In particular, no such action shall be construed as a representation to third parties concerning the habitability or the quality of the construction of any improvements or the absence thereof of any defects or the compliance thereof with any law, building code, life safety code, governmental rule or regulation or zoning condition.

Should the ACC or appointing authority, or any officer, director, shareholder, employee, agent or member of any thereof, be joined in any litigation as a result of or based upon any approval of any plans, or any construction undertaken pursuant thereto, the person or persons who submitted such plans to the ACC for approval shall, jointly and severally (if more than one), indemnify, defend and hold harmless the ACC staff, the appointing authority and each such officer, director, shareholder, employee, agent or member, from and against any and all expenses, losses, or liabilities including, without limitation, court costs and reasonable attorneys' fees, incurred by them (or any of them) in connection with or as a result of such litigation.

Approval for Minor Matters

If the ACC, in its reasonable discretion, determines that an approval requested by an Applicant is minor in nature, the ACC may, in its discretion, permit such Applicant to comply with such expedited and shortened procedure for obtaining the approval as the ACC shall require in lieu of the approval procedure otherwise set forth in the Declaration of Protective Covenants.

Appeals

Applicants may appeal any decision of the ACC made in accordance with the Declaration of Protective Covenants of the Owners Association (the "Board"). Such appeal must be presented to the Board within fifteen (15) days of the date the applicant receives notice of the ACC's decision which is being appealed. The Board shall respond to such appeal within thirty (30) days of the Board's receipt thereof.

APPLICATION PROCESS

Architectural Control Committee (ACC)

In an effort to assure current and future owners at Concord Business Center that the adopted covenants, codes and restrictions are being enforced and that the overall design theme will be adhered to by future development, the ACC has been created.

The ACC is responsible for reviewing plans for all development, including construction of any type, landscaping, lighting, signage, deed restrictions, zoning changes, additions, repairs, and all other improvements. All plans must be reviewed by the ACC to determine their compliance with the covenants and this document.

All plans for construction must be submitted to the ACC for approval. Staff review will take approximately 10 days per plan. Final action will take place no more than 30 days from application of final working drawings. For a typical project, five (5) 24"x36" hard copies and one PDF copy of the required information, as

outlined below, must be submitted. One copy shall remain on file with one copy returned to the applicant with ACC comments.

Design Review Process

Prior to the submittal, the applicant should arrange to obtain a copy of the Concord Business Center Covenants, Conditions and Restrictions, copies of any available engineering, grading, utility, street and drainage plans. In addition, the applicant should obtain copies of the Douglas County Zoning Regulation Code.

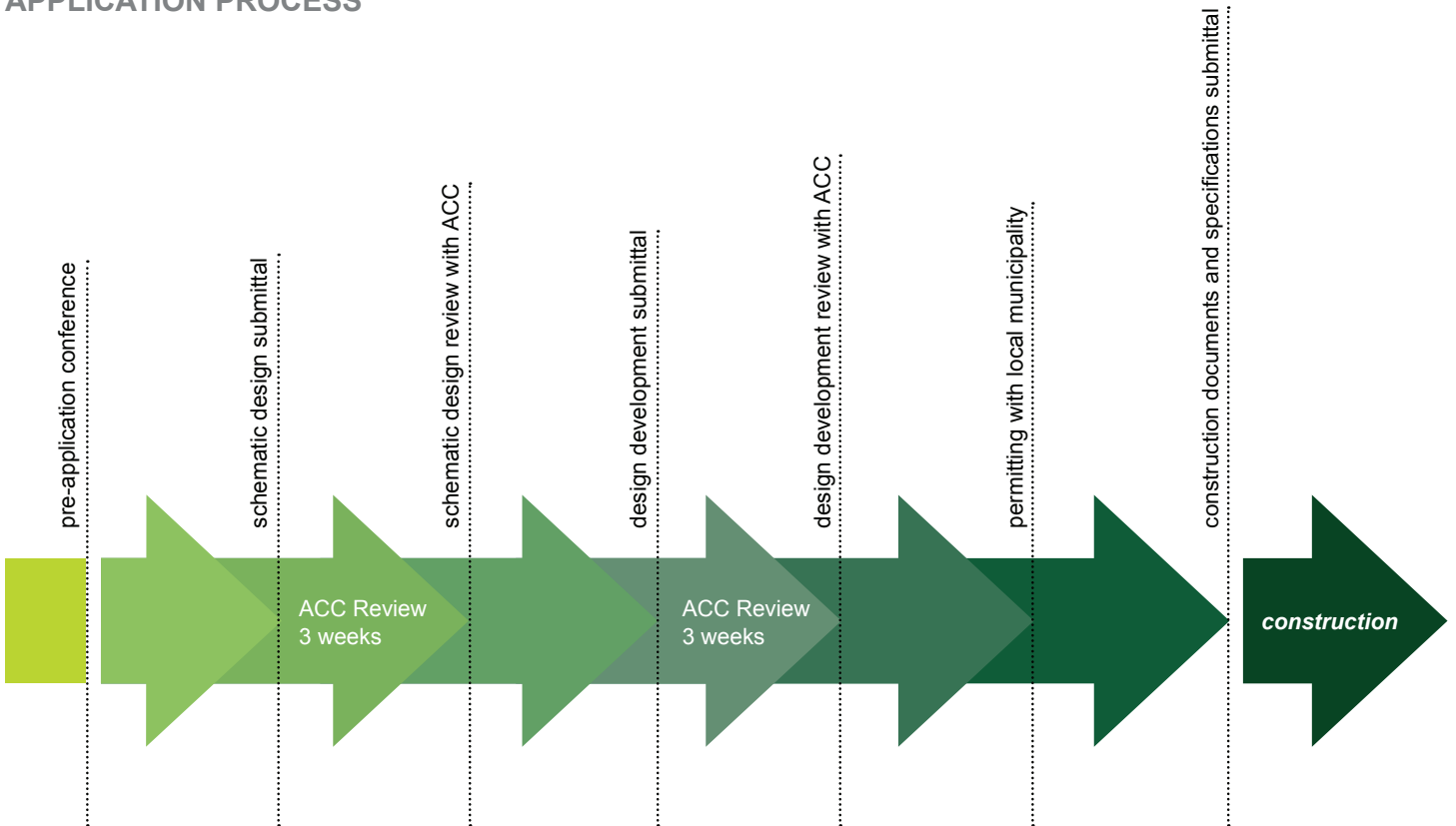
Submittal Process

For most projects, there is a four step submittal/ approval process.

1. Pre-application Conference
2. Schematic Design Submittal
3. Design Development Submittal
4. Municipal Permitting
5. Construction Document and Specifications Submittal

CONCORD BUSINESS CENTER

APPLICATION PROCESS



Application Fees

All reasonable costs actually incurred by the ACC in connection with reviewing the submittals shall be paid by the Applicant, and the payment of such costs by the Applicant shall be a condition precedent to any approval.

Application Fees

(below fees are from the previous document. These fees should be reviewed and updated)

Project Type	Fee Amount
Industrial/Warehouse/R&D	\$500.00 or \$0.02/sf (whichever is greater)
Retail/Commercial/Office	\$1,000.00 or \$0.03/sf (whichever is greater)

* These fees assume a four step review process as outlined. If additional steps are required, the ACC will assess additional fees.

The following sections describe the process for each step and the information required.

Pre-application Conference

Prior to the formal submittal of a request for approval, an informal conference is recommended between the applicant and the ACC. This conference will serve to acquaint the applicant with the covenants and design guidelines of the Concord Business Center and allow the ACC to become familiar with the applicant's development intent. Concept site plans and concept drawings will aid in the discussion at this conference; however, applicants are encouraged not to prepare detailed schematic designs until after the conference.

Suggested material for discussion at the pre-application conference would include:

1. Site Plan
 - Illustrate building size and location
 - Label project uses
 - Illustrate total existing and proposed parking layout and number of parking stalls
 - Illustrate vehicular and pedestrian circulation
 - Illustrate landscaping areas
 - Illustrate outdoor pedestrian spaces

2. Proposed construction schedule

Schematic Design Submittal

Review by the ACC will not commence until all specified information has been submitted. The material must be submitted one week prior to a regulatory or specially scheduled ACC meeting. The material should constitute schematic design level documents for architecture and landscape architecture.

The following must be included:

1. Cover Sheet
 - Name of Owner, developer, and/or builder (as applicant)
 - Name and address and telephone number of person who will maintain communication with the ACC. This should be a person who will have a long-term responsibility for the project.
 - Name of Project
 - Name of architect, engineer, and landscape architect
 - Property address
 - Proposed use
2. Site Plan
 - All property boundaries and easements
 - Required setbacks for buildings and parking areas
 - All existing and proposed elements labeled
 - Identification of project phasing
 - All adjacent streets and buildings identified
 - Total parking required and provided
 - Total property area

- Total building area (gross and net rentable, as applicable)
 - Total open space area
 - Total driveways, parking and loading areas
 - Screening of storage areas, mechanical equipment, loading docks and trash receptacles
 - Site lighting locations
3. Buildings
 - Typical floor plans
 - Building elevations - all sides
 - Materials schedule including material type, application, location, colors and finishes
 4. Landscape Plan
 - Illustrate all trees
 - Illustrate all existing and proposed shrubs
 - Illustrate all existing and proposed planting beds
 - Identification of plant types and quantities not required at this stage
 5. Grading and Drainage Plan
 6. Proposed Schedule

Design Development

The Applicant shall submit Design Development level documents for ACC Review including:

1. Cover Sheet
 - All items required under Schematic Design Submittal
2. Site Plan
 - All items required under Schematic Design Submittal
 - Site furnishings
 - Signage - include dimensions, materials and finishes
 - Hardscape material selections and colors
3. Buildings
 - All items required under Schematic Design Submittal
 - Architectural details and treatments
4. Landscape Plan
 - All items required under Schematic Design

- Submittal
- All plant species identified

5. Grading and Drainage Plan
 - All items required under Schematic Design Submittal
6. Lighting
 - Site lighting fixture selection
 - Photometric plan
7. Proposed Schedule

Permitting

The Applicant shall prepare and submit all documents necessary for municipal permitting approval. Applicant shall provide the ACC all documents submitted for permitting. In addition, the Applicant shall provide to the ACC all correspondence related to the permitting including resubmittal documents and responses to municipal comments. A copy of all approved permits shall be submitted to the ACC.

Construction Documents and Specifications

After preliminary approval, a final application must be submitted. The material submitted should constitute 100% complete construction documents and specifications for architecture and landscape architecture.

The following must be included:

1. Cover Sheet
 - All items required under Design Development Submittal
2. Site Plan
 - All items required under Design Development Submittal
3. Buildings
 - All items required under Design Development Submittal
4. Landscape Plan
 - All plant species identified
5. Grading and Drainage Plan

- All items required under Design Development Submittal

6. Lighting

- All items required under Design Development Submittal

7. Site Construction Details

- Site construction details for all site elements

8. Irrigation

- Irrigation plans and details

9. Proposed Schedule

Final Application Approval

The final submittal will be heard by the ACC and approved or disapproved. Detailed reasons for its disapproval will be given in writing.

The application may be resubmitted with modifications as requested by the ACC. Final approval in writing by the ACC is required prior to submittal of building permits.

SECTION 4

DESIGN GUIDELINES

The purpose of these guidelines is to provide a developer, tenant, or new building owner with a description of the Concord Business Center's design goals, objections, and specific requirements for improvements within the Concord Business Center. The basic intent is to ensure and sustain a high quality mixed use, office, light industrial, and distribution campus with continuity of building concept and design.

It is understood that these Design Guidelines are general in nature, and subject to change by the ACC. It is understood that should the Design Guidelines be in conflict with local municipal code, the more restrictive guidelines shall prevail.

All site and building improvements within the Concord Business Center will be subject to review and approved by the Concord Business Center Architectural Control Committee (ACC).

Site Planning Requirements

General

Unless specifically prohibited in these guidelines, land uses, building coverage, open space requirements, setback requirements, and other zoning considerations shall be compatible with current municipal code.

Site Grading

General

Site grading shall comply with the following minimum and maximum slopes in each area. It shall be done to preserve as much of the natural topographic features as possible, provide for adequate drainage, and create comfortable pedestrian areas.

Design Criteria

The following standards shall apply for site grading:

Area	21	
	Min Slope	Max Slope
Planted Areas	2%	33%
Parking lot	1%	5%
Driveways and access drives	1%	6%
Pedestrian plazas	1%	2%
Sidewalks	1%	5%

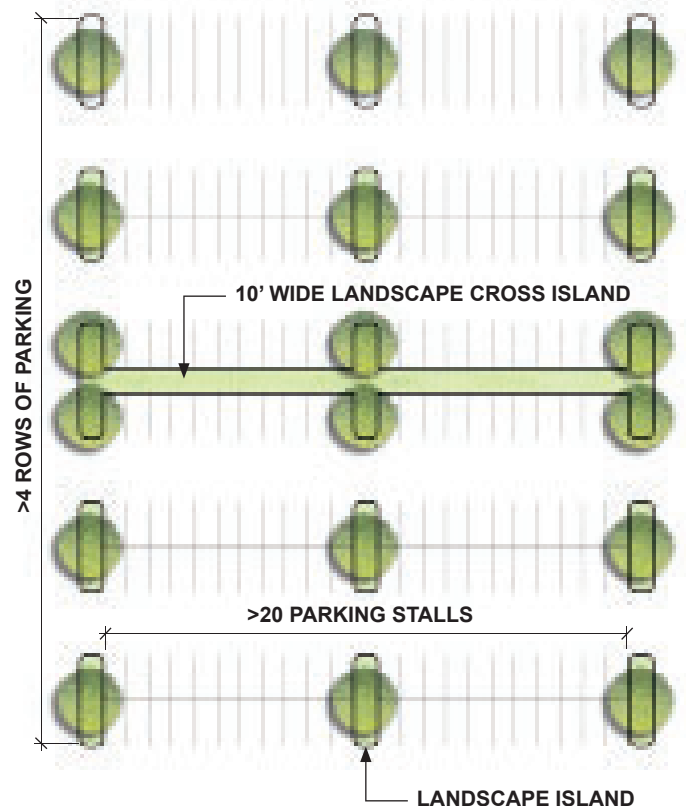
Grading should be used to convey water away from building and structures and can be utilized to create berming for screening purposes or visual interest.

Parking Areas

General

Parking areas shall be designed to provide adequate on-site parking for all building occupants and visitors. No on-street parking is allowed. The minimum parking ratios, parking stall dimensions, and parking setbacks are per local municipal code. Tenant finish permits must demonstrate to the ACC and local municipality that adequate parking exists for any proposed use change.

No compact car spaces are permitted and



handicap parking will be per building code and Americans with Disabilities Act Guidelines (ADA).

Design Criteria

A landscape island 10' wide and equal in length to one full sized parking stall shall be provided:

- At the end of each parking bay
- Between parking stalls so that there are not more than 20 continuous parking stalls in a row, or less.

Additionally, if there are more than four rows of parking, there shall be cross islands a minimum of 10' in width running parallel to parking drive aisles. Each landscape island shall be the full length of the parking row.

Site Lighting

General

Each site shall be adequately lit to provide a safe and pleasant environment in the evening. Light fixture styles should be compatible with the building architecture.

Design Criteria

No properties shall be lighted in such a way as to cause glare or light spillage onto adjacent lots or streets. Wall packs are specifically prohibited.

Site lighting shall consider energy efficiency. All lighting, unless it can be demonstrated for security reasons, shall be reduced to security lighting levels within one hour after the end of business until one hour prior to the commencement of business. The use of motion sensors are highly encouraged.

Signage lighting shall be turned off within one hour after the end of business until one hour prior to the commencement of business. Demonstration of this control must be provided to the ACC. Signs may be internally illuminated, backlit, illuminated by down lighting, or by ground mounted fixtures provided that all light is contained on the sign facade. Signage light levels shall not exceed 50 foot candles.

Blinking, flashing or changing of light intensity

lighting effects are prohibited.

Lighting a building facade to enhance architectural features may be permitted provided that all light is contained completely on the vertical face of the building. Down lighting is preferred. Up lighting may be permitted provided no light escapes the building facade. Light levels on building facades shall not exceed 20 foot candles. Pole mounted lights for the purpose of illuminating a building facade are not permitted.

All new fixtures are to be on a maximum of 25' tall poles, with an architectural style that is compatible with the building style. New fixtures shall be energy efficient LED fixtures.

On sites where there is a need to modify existing lighting, the Applicant shall match existing fixture styles as well as upgrade to more energy efficient fixtures.

All new lighting shall be full cut off as defined by the Illuminating Engineers Society of North America (IESNA). A full cut of light fixture results in a light distribution pattern where no light is permitted at or above a horizontal plane at the bottom of the fixture.

Signage

General

The intent of this section is to create a well designed and implemented signage program throughout the park that has continuity of size, shape, materials, and detail. All signs must be approved by the ACC and the local municipality prior to installation.

Design Criteria

All sign setback requirements shall meet local municipal code. All requirements regarding size, colors, materials, lighting, etc. shall meet these guideline requirements or local municipal code, whichever is more stringent.

Signs are broken into two main categories:

- 1) Identification signage
- and

2) Directional signage.

Identification signage requirements shall be as follows:

- Freestanding signs shall not exceed 6 feet in height.
- One freestanding sign allowed for each property parcel. Multiple business' may be represented on a single free standing sign
- Maximum sign area of 100 square feet per freestanding sign face.
- Building mounted Wall Sign area shall not exceed 50 square feet in area.
- Building mounted Wall Signs are limited to one (1) per street frontage.
- Each use with a separate exterior entrance within the same building is permitted one (1) wall mounted sign.

Window signs shall meet the following criteria:

- A maximum of three (3) Window Signs are allowed if the building face at the main entrance is equal to or less than 50 lineal feet in length.
- A maximum of six (6) Window Signs are allowed if the building face at the main entrance is greater than 50 lineal feet and equal to or less than 300 lineal feet in length.
- Six (6) Window Signs plus (1) additional Window Sign per additional 50 lineal feet in excess of 300 lineal feet of building face at the main entrance of the business are allowed.

Directional signage requirements shall be as follows:

- Directional sign area shall not exceed 50 square feet in area.

Temporary signage requirements shall be as follows:

- Temporary signage shall also meet the requirements of local municipal code.
- Temporary signs may be displayed no more than 90 days in a calendar year.
- Temporary sign area shall not exceed 100 square feet.
- Maximum number of temporary signs is one (1) per street frontage.

Signs and sign structures shall be maintained in a state of good repair. Illumination of signs shall comply with the lighting criteria in this section and local municipal code.

No sign shall emit amplified sound. All signs shall be located outside vehicular sight distance triangles, shall not block pedestrian views of vehicular traffic, or be within any easements.

Roof mounted signs are prohibited. Building mounted signs shall not project beyond 18" from the exterior building facade or higher than the highest point of the roof line.

Fencing

General

All fences must be approved by the ACC. Fencing must be high quality, architectural in nature that blends with the design of the building.

Design Criteria

Fencing shall meet the following criteria:

- No fencing shall be erected in the Right of Way.
- No fencing shall obstruct the view of vehicular traffic.
- Chain link fencing is not permitted in any area.
- Barbed wire fencing is not permitted in any area.
- Maximum height of fencing in rear and sides

of property parcel is six feet.

- Maximum height of fencing in front of property parcel is four feet.
- Approved fencing material includes:
 - Wood
 - Masonry
 - Stone
 - Architectural concrete block
 - Stucco

Building Requirements

General

The intent of this section is to provide general descriptions for the development of the various buildings on the project. High quality and aesthetically pleasing design is encouraged. Approval by the ACC is based on the overall site planning, exterior design, and compatibility with adjacent projects. Buildings shall be designed to be four sided. Elevations with limited or no detail to adjacent sites or streets are prohibited.

Design Criteria

Building Articulation

Buildings should employ a variety of articulation:

- Wall offsets
- Architectural detailing (pilasters, coping, cornices, etc.)
- Recessed building openings
- Grouping of windows
- Awnings
- Four-sided architecture

Materials and Finishes

The following are acceptable materials:

- Brick
- Architectural block
- Unglazed tile
- Pre-cast concrete
- Stucco
- The use of wood and metal is allowed but should be used in limited areas as architectural accents
- Thoughtful compositions of materials are highly encouraged



Example of existing building material composition

Colors

Proposed building colors should adopt the following guidelines:

- A composition of colors is highly encouraged
- Building color schemes shall be generally warm and rich in tone
- Accent colors should be used to highlight entries, building bases, or special areas
- Use of a single color throughout a wall elevation is prohibited

Awnings

Awnings shall:

- Be mounted at least 8' above sidewalks
- Not project more than 4' from building face

Loading Areas/Docks

All loading areas must be screened from adjacent streets and adjacent sites. It is preferred that off street loading be located internally and not facing the street. However, it is allowed as long as it is fully screened from adjacent street areas.

Site Utilities

Transformers, gas meters, and other utility fixtures are to be screened from adjacent sites and streets.

Rooftop Mechanical Equipment

All rooftop mechanical equipment is to be screened, either by the use of parapets or separate mechanical screens so as not to be visible by a 6' person standing at the center of adjacent right-of-ways.

Outside Storage

Outside storage of any kind shall be by special ACC review.

the landscaping must be installed within 60 days from the time planting operations can be undertaken. Erosion control must be installed when seasonal conditions do not permit planting.

Maintenance

Owners or occupants must maintain all buildings, drives, parking areas and landscaped areas in a high quality condition. Buildings should be painted, windows cleaned, and the site in a neat and orderly fashion. Any structure, driveway or landscaping area damaged by vehicles or elements must be promptly repaired. Grounds shall be maintained and mowed and kept free of trash and weeds. All plants must be maintained in a healthy condition. Dead or dying plants must be removed and replaced prior to the next growing season. If maintenance standards are not maintained, the ACC shall issue a notice to the owner. If the problem is not corrected in 10 days, the ACC shall correct the problem and charge the owner or occupant for the cost incurred.

To be Addressed:

- Building entrances
- Roof lines
- Building facade articulation
- Service entry screening
- Mechanical equipment screening

Landscaping

General

Landscaping within parcels, along streets and in open spaces shall maintain and enhance the character of the Concord Business Center. Plantings shall be used to highlight building features, provide shade, reduce heat gain, screen parking, service areas, and storage areas.

Design Criteria

The landscape plan required for submission and approval by the ACC must be prepared by a licensed Landscape Architect with experience in Colorado.

Landscaping, in accordance with the approved plan, is to be installed prior to obtaining a certificate of occupancy for the building except where seasonal limitations exist, in which case,

Hardscape

Hardscape design should adopt the following guidelines:

- Thoughtful compositions of materials and colors are highly encouraged
- Hardscape design could complement the architecture

Paving

Allowed paving materials:

- Brick
- Concrete
- Concrete unit paver
- Stone
- Crusher fines
- Ornamental gravel

Prohibited paving materials:

- Asphalt (except in drives and parking areas)
- Synthetic turf

Retaining Walls

Allowed retaining wall materials:

- Boulders
- Concrete unit block
- Stone veneered walls
- Decorative steel

Prohibited retaining wall materials:

- Wood



Example of approved retaining wall

Screen Walls

Screen walls are allowed to screen utilities, loading docks, storage areas, etc. Screen walls are typically taller than other fencing types and therefore fall into a different category. They shall be continuous in character and compatible with the architecture. Screen walls must adhere to local codes.

Allowed fencing materials:

- Concrete
- Masonry
- Stone
- Decorative metal

Prohibited screen wall materials:

- Vinyl or plastic
- Chain link



Examples of approved screen walls

Fencing

Fencing is allowed to screen utilities, loading docks, storage areas, etc. or to prevent public access. Fencing shall be continuous in character and compatible with the architecture. Fencing must adhere local codes.

Allowed fencing materials:

- Wood
- Masonry
- Stone
- Decorative metal

Prohibited fencing materials:

- Vinyl or plastic
- Chain link

Photo Examples

Approved Plant List

At least 80% of plant material proposed must be from the Town of Castle Rock, CO Approved Plant List (see Appendix). The Approved Plant list emphasizes non-invasive, drought tolerant, pollinator, and native species.

All plantings shall be appropriate for the local climate.

Minimum deciduous tree size is 2" caliper. (Caliper is to be measured 12" above top of rootball).

All areas not paved or currently built upon must be landscaped and irrigated. Large areas of gravel, bark mulch or bare soil are prohibited. Use of water conserving trees, shrubs and groundcovers is encouraged.

Areas to be developed in a future phase need not be landscaped or irrigated. They do, however, require a minimum application of a drought tolerant seed mix that should be established and properly maintained to prevent erosion and provide for weed control and periodic mowing.

The irrigation system must be below ground and

fully automated. Use of drip irrigation for trees and shrubs is encouraged. All backflow devices should be either underground or screened from view. Overspray onto hardscape areas should be minimized.

Parking Lot Landscaping

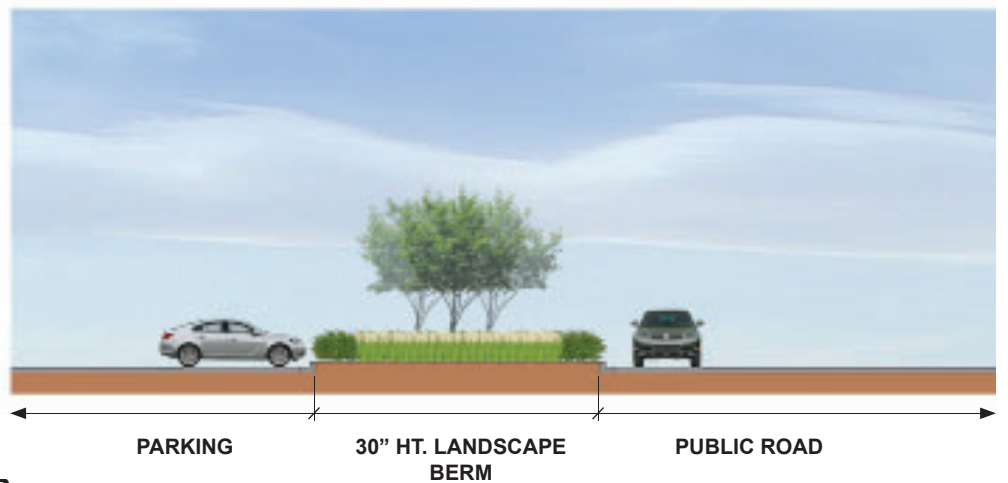
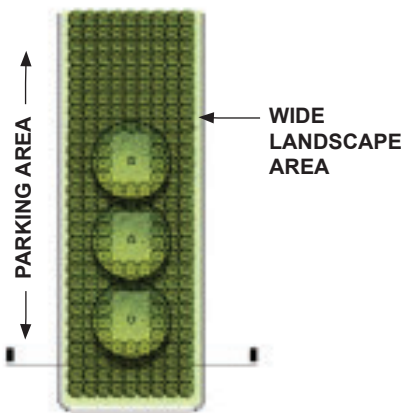
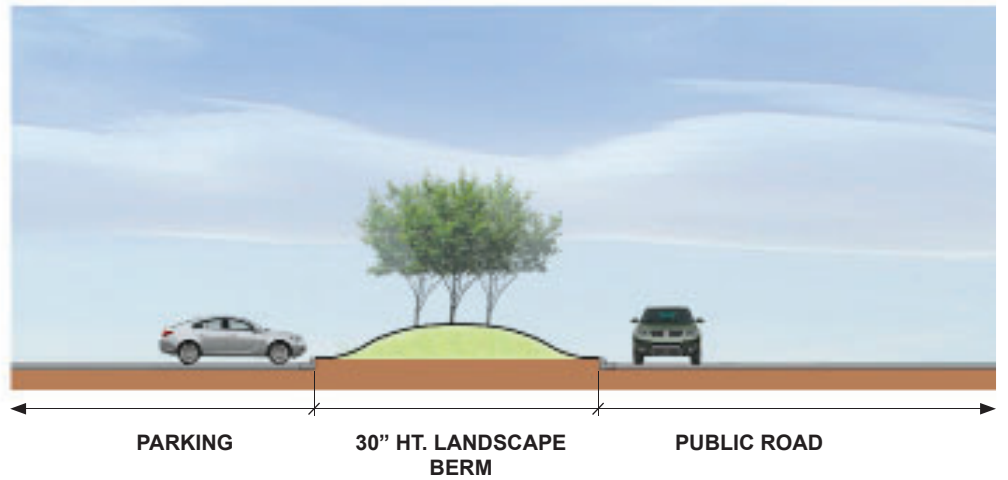
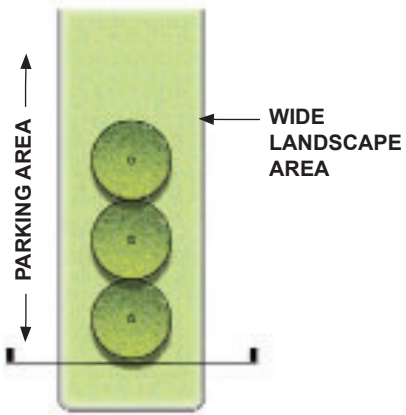
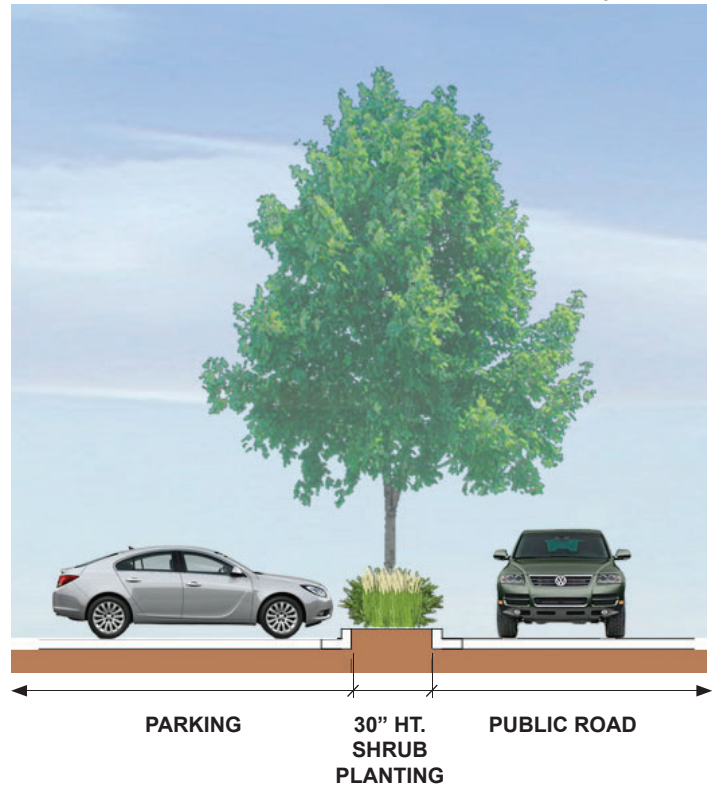
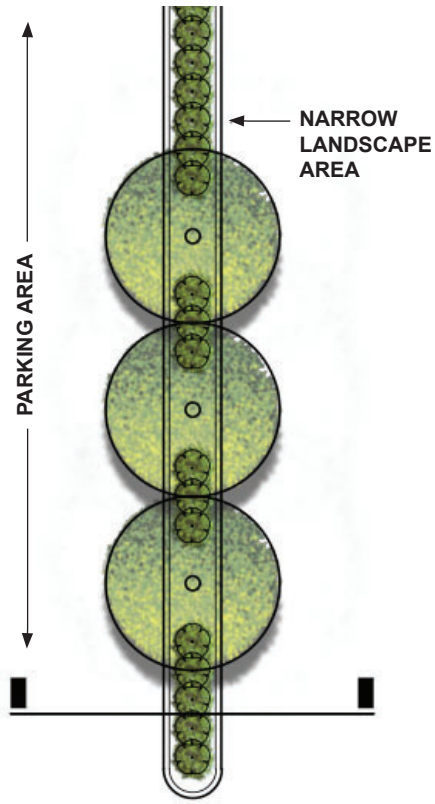
Berming shall be provided as a means of screening parking areas from public streets. Where berming is not possible, heavier concentrations of evergreen trees and/or shrub plantings shall be used.



Examples of approved parking area berming



Examples of approved parking area plant screening



CONCORD BUSINESS CENTER

SECTION 5

LANDSCAPE MAINTENANCE SPECIFICATIONS

GRASS AREAS

Mowing: All lawn grass areas shall be maintained at a height of approximately 2.5" to 3". Mowing will include trimming and edging along curbs, around trees, light posts, signs, and sidewalks. Excessive clippings will be removed and all clippings will be vacuumed or swept from sidewalks/or curbs. Mowing is to be done on a weekly basis, weather permitting. Native grass areas will only be mowed after grass species has completed its reseeding process.

Fertilization: Fertilization of lawn grass areas is to be done two times per year (May and October) using an organic, slow release fertilizer per manufacturers specifications.

Weed Control: Weeds are to be removed as often as necessary to prevent weed proliferation through manual means or by using an approved EPA approved herbicide.

GROUND COVER & SHRUBS

Fertilization: Fertilization will be applied twice a year with an organic, slow release 30-10-10 ornamental shrub and tree fertilizer per manufacturers specifications.

Trimming and Pruning: Trimming and pruning will be done as needed to remove dead wood. Shaping shrubs is prohibited. Trees and shrubs shall be pruned to maintain their natural shape.

Weed Control: Weeds are to be removed as often as necessary to prevent weed proliferation through manual means or by using an approved EPA approved herbicide.

Trees

Pruning and Trimming: All pruning shall be performed by qualified personnel to maintain a natural appearance, to balance crown with root, to maintain growth, to eliminate diseased, damaged or weak growth and to reduce wind

damage by thinning out crowns.

Evergreens shall be thinned when necessary to prevent wind and storm damage.

All pruning cuts shall be made to lateral branches or buds, or flush with trunk, and painted with industry standard tree paint.

Staking and Guying: Stakes and guys are to be removed as soon as they are no longer necessary, generally after the first full growing season.

Weed Control: Basins around trees will be kept free of weeds. Mulch is required within tree rings.

Feeding and fertilization: All trees in native grass areas are to be deep-root fed in March and October. The deep-root feeding is to be accomplished in such a manner as to break up the compaction around the root ball of each tree.

The trees within other areas need to be deep-root fed only once per year.

A 25-10-10 tree and shrub fertilizer applied per manufacturers specifications is recommended.

Winter Wrapping: Tree wrap shall be installed around thin barked trees such as Honey Locust. The wrap should be applied in November and removed in April or early May for the first three seasons after installation.

IRRIGATION

Irrigation shall be scheduled for the hours between 9pm and 5am and will not be done on the night before mowing is scheduled. All possible efforts will be made to avoid irrigation during rainstorms or after heavy rains.

Irrigated turf shall be irrigated at a frequency and quantity that will prevent serious visible moisture stress, yet is not excessive. Recommended frequency is 3 days per week. Peak season (July and August) application rates will target 1.75 inches of water per week.

All irrigation systems shall be maintained in good repair and any problems (e.g. blown head, ruptured pipe, etc.) shall be repaired as quickly as practical. All systems will be properly winterized by qualified irrigation personnel.

TRASH REMOVAL

All areas: All foreign debris will be removed from the lawn areas prior to mowing. Trash will be picked up on a weekly basis in the non-lawn areas.

INSECT AND DISEASE CONTROL

All areas: Insect and disease control will be on an "as needed" basis. However, contractor must spray for insect and disease control within 48 hours of diagnosis.

WINTER INSPECTIONS

All areas: An inspection of the trees, shrubs, and ground covers shall be made at least twice each winter month to ascertain correct moisture levels and to identify other problems which might arise.

REPLACEMENT OF PLANTS

All areas: All dead material will be removed upon diagnosis and replaced as practical.

APPENDIX

- Town of Castle Rock, CO Approved Plant List

Town of Castle Rock Plant List

Botanical (Latin) Name	Common Name	Relative Size**			Ht	Wdth	Ft On Center	Street Tree*	Hydzone***						
		S	M	L					1*	2*	3	4 (turf)			
Trees															
Deciduous Shade Trees															
<i>Acer freemanii</i> 'Autumn Blaze'	Autumn Blaze			x	50	35	30	x				x	x		
<i>Acer platanoides</i>	Norway Maple			x	50	30	25					x	x		
<i>Catalpa speciosa</i>	Catalpa			x	50	30	20	x*				x	x		
<i>Celtis occidentalis</i>	Common Hackberry			x	45	45	35	x*				x	x		
<i>Corylus colurna</i>	Turkish Filbert			x	50	30	25	x*				x	x		
<i>Gymnocladus dioica</i>	Kentucky Coffeetree			x	50	35	30	x*				x			
<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Imperial'	Imperial® Honey Locust		x	x	45	40	35	x				x	x		
<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Shademaster® Honey Locust		x	x	45	40	35	x*				x	x		
<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline® Honey Locust		x	x	45	40	35	x				x	x		
<i>Populus x acuminata</i>	Lanceleaf cottonwood			x	50	40	35						x		
<i>Populus sargentii</i>	Plains Cottonwood			x	60	40							x		
<i>Populus tremuloides</i>	Quaking Aspen		x		35	30							x		
<i>Quercus macrocarpa</i>	Bur Oak			x	70	50	40	x*				x	x		
<i>Quercus robur</i>	English Oak			x	60	40	35	x*				x	x		
<i>Quercus rubra</i>	Northern Red Oak			x	75	45	40	x*				x	x		
<i>Quercus bicolor</i>	Swamp White Oak			x	50	45	40	x*				x	x		
<i>Sophora japonica</i>	Japanese Pagoda Tree			x	40	40	40					x	x		
<i>Tilia americana</i> 'Redmond'	Redmond Linden			x	60	40	35	x				x			
<i>Tilia cordata</i>	Little Leaf Linden			x	40	30	25	x*				x			
<i>Tilia mongolica</i>	Mongolian linden			x	35	25	20	x				x	x		
<i>Tilia x euchlora</i>	Crimean linden			x	35	35	30	x				x			
Deciduous Ornamental Trees															
<i>Acer grandidentatum</i>	Bigtooth Maple			x	25	25						x			
<i>Acer glabrum</i>	Rocky Mountain Maple			x	15	15						x	x		
<i>Acer ginnala</i>	Ginnala Maple			x	15	20						x			
<i>Acer tataricum</i>	Tatarian Maple			x	20	20	20	x				x			
<i>Cercis canadensis</i>	Redbud			x	25	15						x	x		
<i>Crataegus crus-galli</i> var. <i>inermis</i>	Cockspur Thornless Hawthorn			x	15	15	15	x				x	x		
<i>Crataegus ambigua</i>	Russian Hawthorn			x	20	15	15	x				x	x		
<i>Crataegus phaenopyrum</i>	Washington Hawthorn			x	20	15	15	x				x	x		
<i>Koelreuteria paniculata</i>	Goldenrain Tree			x	25	25	20	x				x	x		
<i>Malus</i> spp.	Apples, crabapples			x	20	20	20					x	x		
<i>Malus</i> 'Brandywine'	Brandywine Crabapple			x	20	20	20					x	x		
<i>Malus</i> 'Dolgo'	Dolgo Crabapple			x	25	25	20					x	x		
<i>Malus</i> 'Radiant'	Radiant Crabapple			x	25	20	20					x	x		
<i>Malus</i> 'Spring Snow'	Spring Snow Crabapple			x	25	15	20					x	x		
<i>Prunus armeniaca</i>	Apricot			x	20	20	20					x	x		
<i>Prunus cerasifera</i>	Newport Plum			x	20	20						x			
<i>Prunus maackii</i>	Amur Chokecherry			x	20	20						x	x		
<i>Prunus virginiana</i> 'Shubert'	Canada Red Chokecherry			x	25	20						x	x		
<i>Prunus</i> spp.	Cherries/Plums			x	20	20	20					x			
<i>Ptelea trifoliata</i>	Wafer Ash			x	25	20	20	x				x	x		
<i>Pyrus calleryana</i>	Ornamental Pear			x	30	30	20	x				x	x		
<i>Robinia neomexicana</i>	New Mexican Locust			x	20	20	20					x	x		
<i>Syringa reticulata</i>	Japanese Tree Lilac			x	20	20	15	x				x	x		
<i>Quercus gambelii</i>	Gambel Oak			x	20	15						x			
Evergreen Trees															
<i>Abies concolor</i>	White Fir			x	45	25						x	x		
<i>Picea pungens</i>	Colorado Blue Spruce			x	60	30						x	x		
<i>Pinus aristata</i>	Bristlecone Pine			x	30	15						x	x		
<i>Pinus edulis</i>	Piñon Pine			x	25	20						x			
<i>Pinus flexilis</i>	Limber Pine			x	35	15						x	x		
<i>Pinus ponderosa</i>	Ponderosa Pine			x	60	30						x	x		
<i>Pinus nigra</i>	Austrian Pine			x	50	30						x			
<i>Pinus strobiformis</i>	Southwestern White Pine			x	45	25						x	x		
<i>Pinus sylvestris</i>	Scotch Pine			x	40	25						x	x		
<i>Pseudotsuga menziesii</i>	Douglas Fir			x	50	25						x	x		
Shrubs															
Upright Evergreen Shrub															
<i>Juniperus chinensis</i> 'Hetzi Columnaris'	Hetzi Upright Juniper			x	15	5		x				x	x		
<i>Juniperus chinensis</i> 'Spartan'	Spartan Juniper			x	15	4						x	x		
<i>Juniperus chinensis</i> 'Spearmin'	Spearmin Juniper			x	15	8						x	x		
<i>Juniperus chinensis</i> 'Blue Point'	Blue Point Juniper			x	15	8						x	x		
<i>Juniperus communis</i> 'Compressa'	Pencil Point Juniper			x	3	2						x			
<i>Juniperus monosperma</i>	One Seed Juniper			x	20	20						x			
<i>Juniperus osteosperma</i>	Utah Juniper			x	20	20						x			
<i>Juniperus scopulorum</i>	Rocky Mountain Juniper			x	25	15	6					x	x		
<i>Juniperus scopulorum</i> 'Cologreen'	Cologreen Juniper			x	20	8	6					x	x		
<i>Juniperus scopulorum</i> 'Gray Gleam'	Gray Gleam Juniper			x	15	6	5					x	x		
<i>Juniperus scopulorum</i> 'Moonglow'	Moonglow Juniper			x	15	8						x	x		
<i>Juniperus scopulorum</i> 'Pathfinder'	Pathfinder Juniper			x	15	8						x	x		
<i>Juniperus scopulorum</i> 'Skyrocket'	Skyrocket Juniper			x	15	4	3	x				x	x		
<i>Juniperus scopulorum</i> 'Wichita Blue'	Wichita Blue Juniper			x	15	6						x	x		
<i>Juniperus virginiana</i> 'Burkii'	Burk Eastern Red Cedar			x	25	15						x	x		

Botanical (Latin) Name	Common Name	S	M	L	Ht	Width	Ft On Center	Street Tree*	1*	2*	3	4 (turf)
Spreading (low-growing) Junipers												
<i>Juniperus chinensis</i> 'Armstrongii'	Armstrong Juniper		x		4	4					x33	
<i>Juniperus communis depressa</i> 'Effusa'	Effusa Juniper	x			2	6			x	x		
<i>Juniperus horizontalis</i> 'Bar Harbor'	Bar Harbor Juniper	x			1	6				x		
<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	x			1	8				x		
<i>Juniperus horizontalis</i> 'Hughes'	Hughes Juniper	x			1	6				x		
<i>Juniperus horizontalis</i> 'Monber'	Icee Blue™ Juniper	x			2	8				x		
<i>Juniperus horizontalis</i> 'Prince of Wales'	Prince of Wales Juniper	x			1	8				x		
<i>Juniperus horizontalis</i> 'Wiltonii'	Wiltonii/BlueRug Juniper	x			1	8				x		
<i>Juniperus horizontalis</i> 'Youngstown'	Andorra Juniper	x			2	6				x		
<i>Juniperus x media</i> 'Holbert'	Spreading Juniper	x			3	8				x		
<i>Juniperus x media</i> 'Sea Green'	Sea Green/Mint Julep™ Juniper		x		6	7				x		
<i>Juniperus x media</i> 'Old Gold'	Old Gold/Gold Coast™ Juniper		x		4	4				x		
<i>Juniperus procumbens</i> 'Green Mound'	Green Mound Juniper	x			1	8				x		
<i>Juniperus sabina</i> 'Arcadia'	Arcadia Juniper	x			2	4				x		
<i>Juniperus sabina</i> 'Broadmoor'	Broadmoor Juniper	x			2	10				x		
<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	x			1	8				x		
<i>Juniperus sabina</i> 'Monna'	Calgary Carpet Juniper	x			1	6				x		
<i>Juniperus sabina</i> 'Scandia'	Scandia Juniper	x			2	8				x		
<i>Juniperus sabina</i> 'Sierra Spreader'	Sierra Spreader Juniper	x			1	8				x		
<i>Juniperus sabina</i> 'Tamariscifolia'	Tammany Juniper		x		4	8				x		
<i>Juniperus scopulorum</i> 'Table Top Blue'	Table Top Blue Juniper		x		6	8				x		
<i>Juniperus squamata</i> 'Blue Star'	Blue Star Juniper	x			3	4				x	x	
<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	x			3	6				x		
Deciduous Shrubs												
<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry		x	x	15	15				x	x	
<i>Amelanchier alnifolia</i> 'Regent'	Regent Serviceberry		x	x	6	6				x	x	
<i>Amorpha canescens</i>	Leadplant		x		4	4			x	x		
<i>Amorpha fruticosa</i>	Indigobush		x		8	15				x		
<i>Amorpha nana</i>	Dwarf leadplant	x			2				x			
<i>Aronia melanocarpa</i>	Black Chokeberry		x	x	7	4					x	
<i>Atriplex canescens</i>	Four Wing Saltbush		x		6	3			x			
<i>Atriplex confertifolia</i>	Shadscale Saltbush	x			3	5			x			
<i>Berberis spp.</i>	Barberry		x		6	6				x	x	
<i>Berberis thunbergii</i> 'Crimson Pygmy'	Crimson Pygmy Barberry	x	x		2	3				x	x	
<i>Buddleia alternifolia</i> 'Argentea'	Alternate-leaf Butterfly Bush		x		15	10				x	x	
<i>Caragana arborescens</i>	Siberian Peashrub			x	15	12			x	x		
<i>Caragana pygmaea</i>	Pygmy Peashrub	x	x		3	3			x	x		
<i>Caryopteris x clandonensis</i>	Blue Mist Spirea		x		4	4				x	x	
<i>Caryopteris x clandonensis</i> 'Dark Knight'	Dark Knight Spirea		x		5	4				x	x	
<i>Caryopteris x clandonensis</i> 'First Choice'	Compact Blue Mist Spirea	x			3	3				x	x	
<i>Certoides lanata</i>	Winterfat	x	x		3				x			
<i>Cercocarpus ledifolius</i>	Curl Leaf Mountain Mahogany		x	x	15	15			x			
<i>Cercocarpus montanus</i>	Mountain Mahogany		x	x	15	15			x			
<i>Cercocarpus intricatus</i>	Dwarf Mountain Mahogany	x			4	4			x			
<i>Chamaebatiara millefolium</i>	Fembush		x		6	6			x			
<i>Chrysothamnus nauseosus</i>	Rabbitbrush		x		6	4			x			
<i>Chrysothamnus nauseosus</i> 'Dwarf Blue'	Dwarf Rabbitbrush	x			3	3			x			
<i>Cornus alba</i>	European Dogwood		x		5	8						x
<i>Cornus sericea</i>	Dogwood		x	x	6	8						x
<i>Cotinus coggygria</i> 'Royal Purple'	Smoketree			x	12	12					x	
<i>Cotoneaster lucidus</i>	Peking Cotoneaster		x		8	8				x	x	
<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster	x			3	6				x		
<i>Cowania mexicana</i>	Cliffrose			x	12	6			x			
<i>Daphne x burkwoodii</i> 'Carol Mackie'	Carol Mackie Daphne		x		3	4					x	
<i>Ephedra viridis</i>	Morman Tea		x		4	6			x	x		
<i>Euonymus alatus</i>	Burning Bush		x	x	12	10					x	
<i>Euonymus alatus</i> 'Compactus'	Dwarf burning bush		x		5	4				x		
<i>Fallugia paradoxa</i>	Apache Plume		x		6	6			x			
<i>Forestiera neomexicana</i>	New Mexico Privet			x	15	10			x	x	x	
<i>Forsythia spp</i>	Forsythia		x		6	5					x	
<i>Genista tinctoria</i> 'Royal Gold'	Royal Gold Woadwaxen	x			2	2				x	x	
<i>Holodiscus dumosus</i>	Rock Spirea		x		7	9			x	x		
<i>Hippophae rhamnoides</i>	Sea Buckthorn				12	10			x			
<i>Hypericum spp</i>	St. Johnswort	x			3	3				x	x	
<i>Hypericum kalmianum</i>	Kalm's St. Johnswort	x			2	4				x	x	
<i>Hypericum kalmianum</i> 'Ames'	Ames St. Johnswort	x			2	3				x	x	
<i>Jamesia americana</i>	Waxflower , fivepetal cliffbush		x		6	6			x	x	x	
<i>Kolkwitzia amabilis</i>	Beautybush		x		10	8				x	x	
<i>Ligustrum obtusifolium regelianum</i>	Regal Privet		x		5	5					x	
<i>Ligustrum vulgare</i> 'Cheyenne'	Cheyenne Privet		x	x	10	12					x	
<i>Ligustrum vulgare</i> 'Lodense'	Lodense Privet		x	x	10	12					x	
<i>Lonicera korolkowii</i> 'Floribunda'	Blue Velvet Honeysuckle		x		12	8				x	x	
<i>Lonicera syringantha</i> 'Wolfii'	Tiny Trumpets Honeysuckle		x		4	6				x	x	
<i>Lonicera tatarica</i> 'Arnold Red'	Arnold Red Honeysuckle		x		8	8				x	x	
<i>Lonicera x xylostoides</i> 'Clavey's Dwarf'	Clavey's Dwarf Honeysuckle		x		5	5				x	x	
<i>Peraphyllum ramosissimum</i>	Squaw Apple		x		7	7				x	x	
<i>Philadelphus lewisii</i> 'Cheyenne'	Cheyenne Mockorange		x		5	6					x	

Botanical (Latin) Name	Common Name	S	M	L	Ht	Width	Ft On Center	Street Tree*	1*	2*	3	4 (turf)
<i>Philadelphus microphyllus</i>	Littleleaf Mockorange		x		4	5						x
<i>Physocarpus opulifolius</i> 'Dart's Gold'	Ninebark	x			4	4					x	34
<i>Physocarpus opulifolius</i>	Common Ninebark			x	9	8					x	
<i>Potentilla fruticosa</i>	Shrubby Cinquefoil	x			4	4					x	x
<i>Potentilla fruticosa</i> 'Golden Drop'	Gold Drop Potentilla	x			3	2					x	x
<i>Prunus americana</i>	American Plum			x	12	10					x	x
<i>Prunus besseyi</i> 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	x			2	5					x	x
<i>Prunus besseyi</i> 'Western'	Western Sandcherry			x	6	5					x	x
<i>Prunus x cistena</i>	Purple leaf sand cherry			x	14	10					x	
<i>Prunus virginia</i>	Chokecherry			x	20	20					x	x
<i>Prunus tomentosa</i>	Nanking Cherry			x	8	8				x	x	
<i>Purshia tridentata</i>	Antelope bitterbrush			x	5	4						
<i>Quercus gambelii</i>	Gambel Oak			x	20	15				x		
<i>Quercus undulata</i>	Wavy Leaf Oak			x	9	8				x	x	
<i>Rhamnus smithii</i>	Smith's Buckthorn			x	8	8				x	x	
<i>Rhus aromatica</i>	Fragrant Sumac			x	6	8				x	x	
<i>Rhus aromatica</i> 'Grow-Low'	Gro-Low Sumac	x			3	6				x	x	
<i>Rhus glabra</i> 'Cismontana'	Rocky Mountain Sumac			x	5	6				x	x	
<i>Rhus glabra</i>	Smooth Sumac			x	15	12				x	x	
<i>Rhus glabra</i> 'Laciniata'	Smooth Cutleaf Sumac			x	6	8				x	x	
<i>Rhus trilobata</i>	Three Leaf Sumac			x	6	8				x	x	
<i>Rhus typhina</i>	Staghorn Sumac			x	20	20				x	x	
<i>Rhus typhina</i> 'Laciniata'	Staghorn Cutleaf Sumac			x	10	8				x	x	
<i>Ribes alpinum</i>	Alpine Currant	x			5	5						x
<i>Ribes aureum</i>	Golden Currant	x	x		6	5				x	x	x
<i>Ribes cereum</i>	Wax Currant	x			4	3				x	x	
<i>Ribes hirtellum</i>	Gooseberry	x	x		5	6					x	x
<i>Ribes inerme</i>	Whitestem gooseberry			x							x	x
<i>Ribes nigrum</i>	Black Currant	x	x		5	5					x	x
<i>Ribes sativum</i> 'Red Lake'	Red Currant	x	x		4	4						x
<i>Rosa foetida</i> 'Bicolor'	Austrian Copper Rose, Shrub			x	6	8					x	
<i>Rosa glauca</i>	Redleaf Shrub Rose			x	5	6					x	x
<i>Rosa</i> 'Nearly Wild'	Floribunda Rose	x			2	3					x	x
<i>Rosa</i> Meidiland	Meidiland Rose	x	x		4	5					x	x
<i>Rosa</i> Rugosa	Rugosa Hybrid Roses			x	5	5					x	x
<i>Rosa</i> Shrub	Shrub Rose	x	x	x	6	8						x
<i>Rosa x harisonii</i>	Harrison's Yellow Shrub Rose			x	5	6				x	x	
<i>Rosa woodsii</i>	Wood's Rose	x			3	4					x	x
<i>Rubus deliciosus</i>	Boulder Raspberry			x	8	6					x	x
<i>Shepherdia argentea</i>	Silver Buffaloberry			x	12	8					x	x
<i>Shepherdia canadensis</i>	Russet Buffaloberry	x	x		4	4					x	x
<i>Sibiraea laevigata</i>	Siberian spiraea			x	5	5					x	x
<i>Spiraea japonica</i> 'Little Princess'	Japanese spiraea	x			2.5	3						x
<i>Spiraea nipponica</i> 'Snowmound'	Snowmound Spiraea			x	5	8					x	x
<i>Spiraea x bumalda</i> 'Anthony Waterer'	Anthony Waterer Spiraea	x			3	4						x
<i>Spiraea</i> x 'Vanhoutte'	Vanhoutte Spiraea			x	8	10						x
<i>Symphoricarpos albus</i>	Snowberry	x			4	6						x
<i>Symphoricarpos</i> x 'Chenault'	Chenault Coralberry			x	6	6						x
<i>Symphoricarpos</i> x <i>chenaultii</i> 'Hancock'	Hancock Coralberry			x	2	6						x
<i>Syringa hyacinthiflora</i>	Early Lilac			x	10	10						x
<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac			x	5	5						x
<i>Syringa</i> x <i>prestoniae</i> 'Donald Wyman'	Donald Wyman Lilac			x	8	8						x
<i>Syringa</i> x <i>prestoniae</i> 'James MacFarlane'	James MacFarlane Lilac			x	8	8						x
<i>Syringa x prestoniae</i> 'Minuet'	Late Canadian Lilac	x	x		4	5						x
<i>Syringa</i> x <i>prestoniae</i> 'Royalty'	Royalty Lilac			x	8	8						x
<i>Syringa vulgaris</i>	Common Purple Lilac			x	15	15						x
<i>Syringa vulgaris</i> 'Alba'	Common White Lilac			x	15	15						x
<i>Syringa vulgaris</i> 'Charles Joly'	Charles Joly Lilac			x	15	15						x
<i>Viburnum lantana</i>	Wayfaring Viburnum			x	15	8						x
<i>Viburnum lantana</i> 'Mohican'	Mohican Viburnum			x	7	8						x
<i>Viburnum rhytidophylloides</i> 'Alleghany'	Alleghany Leatherleaf Viburnum			x	10	10						x
Evergreen Shrubs												
<i>Arctostaphylos x coloradoensis</i>	Panchito™ Manzanita	x			1	3						x
<i>Arctostaphylos uva-ursi</i>	Kinnikinnick, bearberry	x			1	6						x
<i>Artemisia cana</i>	Silver Sagebrush			x	4	3						x
<i>Artemisia filifolia</i>	Sand Sagebrush			x	5	6						x
<i>Artemisia tridentata</i>	Tall Western Sage			x	6	5						x
<i>Cytisus</i> x 'Lilac Time'	Lilac Time Broom	x			3	3						x
<i>Cytisus</i> x 'Minstead'	Minstead Broom	x			3	4						x
<i>Cytisus</i> x <i>praecox</i> 'Allgold'	Allgold Warminster Broom	x			3	4						x
<i>Cytisus purgan</i> 'Spanish Gold'	Spanish Gold Broom	x	x		4	5						x
<i>Cytisus scoparius</i> 'Moonlight'	Moonlight Broom	x	x		5	4						x
<i>Ephedra equisetina</i>	Bluestem Joint Fir			x	6	7						x
<i>Hesperaloe parviflora</i>	Red Flowering Yucca	x			2	2						x
<i>Mahonia aquifolium</i>	Oregon Grape Holly	x	x		5	6						x
<i>Mahonia aquifolium</i> 'Compacta'	Compact Oregon Grape Holly	x			3	3						x
<i>Mahonia repens</i>	Creeping Oregon Grape Holly	x			1	3						x
<i>Picea abies</i> 'Nidiformis'	Bird's Nest Spruce			x	8	12						x
<i>Pinus mugo</i> 'I eeny'	Dwarf Mugo Pine	x			2	3						x
<i>Pinus mugo</i> var <i>mugo</i>	Mugo Pine			x	30	30						x
<i>Yucca baccata</i>	Banana Yucca	x			3	3						x
<i>Yucca filamentosa</i>	Adam's Needle			x	4	4						x
<i>Yucca glauca</i>	Soapweed	x			2	2						x

Botanical (Latin) Name	Common Name	S	M	L	Ht	Wdth	Ft On Center	Street Tree*	1*	2*	3	4 (turf)
Perennials												
<i>Achillea filipendulina</i>	Femleaf Yarrow				2.5	2			x	x		
<i>Achillea filipendulina</i> 'Moonshine'	Moonshine Yarrow				2.5	2			x	x		
<i>Achillea lanulosa</i>	Native Yarrow				0.5				x			
<i>Achillea millefolium</i> 'Rosea'	Pink Yarrow				2.5	2.5			x	x		
<i>Achillea tomentosa</i>	Woolly yarrow				0.5				x	x	x	
<i>Agastache cana</i>	Double Bubble Mint				2	2			x	x		
<i>Agastache rupestris</i>	Sunset Hyssop			x	3					x	x	
<i>Alcea rosea</i>	Hollyhock			x	6	1			x	x		
<i>Alchemilla mollis</i>	Lady's Mantle			x	1.5					x	x	
<i>Allium cernuum</i>	Nodding onion			x	1					x	x	
<i>Alyssoides utriculata</i>	Bladderpod			x	1	2				x		
<i>Alyssum saxatile</i>	Alyssum			x	1					x		
<i>Alyssum wulfenianum</i>	Mountain Alyssum			x	0.5					x		
<i>Anacyclus depressus</i>	Atlas Daisy			x	0.25	1				x		
<i>Anchusa azurea</i> 'Dropmore'	Dropmore bugloss			x	4	2				x	x	
<i>Anemone sylvestris</i>	Snow Drop			x	2	1					x	
<i>Antennaria dioica</i>	Pussytoes			x	2	1				x	x	
<i>Aquilegia</i> Hybrids	Columbine			x	x	3				x	x	
<i>Arabis</i> sp.	Mountain Rockcress			x	0.5				x	x		
<i>Armeria maritima</i>	Sea thrift			x	0.5					x		
<i>Artemisia caucasica</i>	Caucasian sage			x	1.5					x		
<i>Artemisia frigida</i>	Fringed sage			x	1.5					x		
<i>Artemisia ludoviciana</i>	Prairie Sage			x	1.5	1.5			x	x		
<i>Artemisia</i> 'Powis Castle'	Powis Castle Sage			x	2				x	x		
<i>Artemisia</i> 'Silver Brocade'	Dusty Miller Sage			x	1	2				x		
<i>Artemisia schmidtiana</i>	Silver Mound Sage			x	1	1.5			x	x		
<i>Artemisia stelleriana</i> 'Silver Brocade'	Perennial Dusty Miller Sage			x	2	1.5			x	x		
<i>Asclepias tuberosa</i>	Butterfly Weed			x	2.5	1.5				x	x	
<i>Aster alpinus</i>	Alpine aster			x	1					x		
<i>Aster</i> Hybrids	Fall Aster			x	x	3					x	
<i>Aster laevis</i>	Smooth Aster				x	3.5				x		
<i>Aster novae-angliae</i>	Aster				x	3	2			x		
<i>Aster porteri</i>	Porter aster			x	1					x		
<i>Aubrieta deltoidea</i> 'Purple Gem'	Purple Rockcress			x	0.5	2				x		
<i>Aurnia saxatilis</i> 'Compacta'	Basket-of-Gold			x	1	1				x		
<i>Baptisia australis</i>	False Indigo			x	x	4	4			x	x	
<i>Berlandiera lyrata</i>	Chocolate Flower			x	1	0.5				x		
<i>Boltonia asteroides</i> 'Snowbank'	Snowbank Starflower			x	x	6	3				x	
<i>Callirhoe involucrata</i>	Prairie Winecup			x	1	2			x	x		
<i>Calyophus hartwegii</i> var. <i>fendleri</i>	Sundrops			x	0.5				x			
<i>Campanula poscharskyana</i>	Serbian Bellflower			x	0.5	1				x		
<i>Campanula rotundifolia</i>	Harebell			x	1	1					x	
<i>Catananche caerulea</i>	Cupids Dart			x	1.5					x		
<i>Centaurea montana</i>	Perennial Bachelor Button			x	2	2				x		
<i>Centaurea dealbata</i> 'Rosea'	Persian Cornflower			x	2					x	x	
<i>Centranthus ruber</i>	Jupiter's Beard				x	3	2		x	x	x	
<i>Ceratostigma plumbaginoides</i>	Plumbago			x	1	2				x	x	
<i>Cerastium tomentosum</i>	Snow-in-Summer			x	1	1				x		
<i>Chrysanthemum coccineum</i>	Painted Daisy			x	2.5	1.5					x	
<i>Chrysanthemum parthenium</i> 'Aureum'	Golden Feverfew			x	1	1					x	
<i>Convallaria majalis</i>	Lily-of-the-Valley			x	0.5	1				x	x	
<i>Coreopsis auriculata</i> 'Nana'	Dwarf Coreopsis			x	0.5					x		
<i>Coreopsis grandiflora</i>	Coreopsis			x	2.5					x	x	
<i>Coreopsis rosea</i>	Pink Coreopsis			x	2	2.5				x	x	
<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam Coreopsis			x	2						x	
<i>Coreopsis verticillata</i> 'Zagreb'	Zagreb Coreopsis			x	2						x	
<i>Crocus</i> sp.	Crocus			x	0.25						x	x
<i>Delosperma cooperi</i>	Ice Plant			x	0.25	1			x	x		
<i>Delosperma nubigenum</i>	Yellow Ice Plant			x	0.25	1			x	x		
<i>Delphinium</i> sp.	Delphinium				x	4					x	
<i>Dianthus deltoides</i>	Maiden Pink			x	0.5					x	x	
<i>Dianthus</i> 'First Love'	First Love Dianthus			x	1.5					x		
<i>Dianthus gratianopolitanus</i>	Cheddar Pink			x	0.5					x		
<i>Dianthus</i> Hybrids	Cottage Pink			x	1.5					x		
<i>Diascia integerrima</i> 'Coral Canyon'	Coral Canyon Twinspur			x	1					x	x	
<i>Echinacea pallida</i>	Drooping Coneflower			x	x	3					x	
<i>Echinacea purpurea</i>	Purple Coneflower			x	x	3				x	x	
<i>Echinacea purpurea</i> 'Alba'	White Coneflower			x	x	3				x	x	
<i>Echinacea purpurea</i> 'Magnus'	Magnus Coneflower			x	x	3				x	x	
<i>Echinocereus coccineus</i>	Turk's Head Cactus			x	0.5	1			x			
<i>Echinops nitro</i> 'Taplow Blue'	Small Globe Thistle				x	4	2			x		
<i>Echinops sphaerocephalus</i> 'Arctic Glow'	Great Globe Thistle				x	4	2			x		
<i>Echinocereus triglochidiatus</i>	Claret Cup Cactus			x	1	1			x			
<i>Epilobium canum</i> subsp. <i>garrettii</i>	Orange Carpet Hummingbird Trumpet			x	1	3			x	x		
<i>Epilobium fleischeri</i>	Alpine Willow Herb			x	1.5	1				x	x	
<i>Eriogonum umbellatum</i>	Sulphur flower, buckwheat			x	1	2			x	x		
<i>Eryngium planum</i> 'Blaukappe'	See Holly			x	2	1.5				x	x	
<i>Eschscholzia californica</i>	California Poppy			x	2					x	x	
<i>Escobaria vivipara</i> v. <i>vivipara</i>	Spiny Star Cactus			x	0.5	0.25			x			
<i>Escobaria missouriensis</i>	Missouri Pincushion			x					x			
<i>Euphorbia polychroma</i>	Cushion Spurge			x	2	0.25			x	x	x	
<i>Fallopia japonica</i>	Japanese Fleece Flower				x	4	4			x	x	
<i>Fallopia japonica</i> 'Compacta'	Dwarf Japanese Fleece Flower			x	2	2				x		
<i>Fragaria</i> 'Pink Panda'	Pink Panda Strawberry			x	0.5	1				x	x	x
<i>Gaillardia aristata</i>	Blanket Flower			x	2.5	2.5				x		

Botanical (Latin) Name	Common Name	Ft On					Center	Street Tree ^a	1+	2+	3	4 (turf)
		S	M	L	Ht	Wdth						
<i>Gaillardia aristata</i> 'Goblin'	Goblin Dwarf Blanket Flower	x			1				x	x		
<i>Galium odoratum</i>	Sweet Woodruff	x			1					86	x	
<i>Gaura lindheimeri</i>	Whirling Butterflies	x			4				x	x		
<i>Gazania linearis</i> 'Colorado Gold'	Hardy Colorado Gold Gazania	x			0.5				x	x		
<i>Gentiana septemfida</i>	Fall Gentian	x			0.5	0.5			x	x		
<i>Geranium cantabrigiense</i> 'Biokovo'	Biokovo Cranesbill	x			0.5				x			
<i>Geranium himalayense</i> 'Johnson's Blue'	Johnson Blue Cranesbill	x			2	2			x	x		
<i>Geranium macrorrhizum</i>	Bigroot Cranesbill	x			1	2			x	x		
<i>Geranium sanguineum</i>	Cranesbill	x			2	2			x	x		
<i>Geranium viscosissimum</i>	Sticky Geranium	x			2	1.5			x			
<i>Geum triflorum</i>	Prairie Smoke	x			1.5				x			
<i>Gutierrezia sarothrae</i>	Broomweed	x			1.5	1.5		x	x			
<i>Gypsophila paniculata</i> 'Compacta Plena'	Baby's Breath	x			1.5				x			
<i>Gypsophila repens</i>	Creeping Baby's Breath	x			0.5				x			
<i>Helenium hoopesii</i>	Orange Sneezeweed		x		4					x	x	
<i>Helenium</i> x 'Bruno'	Sneezeweed		x		4	1.5				x	x	
<i>Helianthemum nummularium</i>	Sunrose or Rock Rose	x			1				x	x		
<i>Helianthus maximiliana</i> 'Santa Fe'	Santa Fe Sunflower			x	10				x	x		
<i>Heliopsis helianthoides</i> 'Summer Sun'	False Sunflower		x		4	3			x	x		
<i>Hemerocallis hybrids</i>	Daylily	x	x		3.5	3.5		x	x			
<i>Hemerocallis</i> 'Stella de Oro'	Stella D'Oro Daylily	x			1			x	x			
<i>Heuchera sanguinea</i>	Coral Bells	x			3	1.5				x	x	
<i>Hosta fortunei</i>	Hosta	x			1.5	1.5						x
<i>Iberis sempervirens</i>	Candytuft	x			1				x	x		
<i>Ipomopsis aggregata</i>	Scarlet Gilia								x			
<i>Iris germanica</i>	Bearded Iris	x	x		3	2		x	x	x		
<i>Iris missouriensis</i>	Missouri iris	x			1	0.5				x	x	
<i>Knautia macedonia</i>	Knautia		x		3				x	x		
<i>Kniphofia uvaria</i>	Red Hot Poker	x	x		3				x	x		
<i>Lamium maculatum</i> 'Beacon Silver'	Beacon Silver Lamium	x			0.5					x	x	
<i>Lamium maculatum</i> 'White Nancy'	White Nancy Lamium	x			0.5					x	x	
<i>Lavandula angustifolia</i> 'Munstead'	English Lavender	x			1.5					x		
<i>Leucanthemum compact</i> 'Snow Lady'	Dwarf Shasta Daisy	x			1	1				x		
<i>Leucanthemum x superbum</i> 'Alaska'	Shasta Daisy	x			2.5					x		
<i>Liatris punctata</i>	Dotted Gayfeather	x			0.5	0.5		x	x			
<i>Liatris spicata</i>	Gayfeather		x		3	1			x	x		
<i>Limonium gmelini</i>	Siberian Staice	x			2				x	x		
<i>Limonium latifolium</i>	Sea Lavender	x			2	2				x		
<i>Linum lewisii</i>	Wild Blue Flax	x			1				x			
<i>Linum perenne</i>	Blue Flax	x			2	1.5			x	x		
<i>Lupinus argenteus</i>	Silvery Lupine	x			2	2			x	x		
<i>Lupinus perennis</i>	Wild Lupine	x			2				x	x	x	
<i>Lupinus</i> 'Russell Hybrid'	Russel Hybrid Lupine		x		4	3				x	x	
<i>Lychnis coronaria</i>	Rose Campion		x		3	1.5			x	x		
<i>Lysimachia nummularia</i>	Moneywort	x			0.5	1.5				x	x	
<i>Malva alcea</i> 'Fastigiata'	Hollyhock Mallow		x		4	1.5				x		
<i>Marrubium rotundifolium</i>	Silver Edged Horehound	x			1	1.5		x	x			
<i>Mirabilis multiflora</i>	Desert four-o'clock	x	x		4			x	x			
<i>Melampodium leucanthum</i>	Blackfoot Daisy	x			1.5	1		x	x			
<i>Monarda fistulosa</i>	Bee Balm		x		3	1.5			x	x		
<i>Muscari armeniacum</i> 'Early Giant'	Grape Hyacinth	x			0.5	0.5			x	x		
<i>Narcissus</i> sp.	Daffodil	x			1	1				x		
<i>Nepeta x faassenii</i> 'Walker's Low'	Catmint	x			1.5	2.5		x	x			
<i>Oenothera berlandiera</i> 'Siskiyou'	Mexican Evening Primrose	x			0.5				x			
<i>Oenothera caespitosa</i>	White Evening Primrose	x			0.5	1.5			x	x		
<i>Oenothera macrocarpa</i>	Ozark Sundrops	x			1	2		x	x			
<i>Opuntia</i> spp.	Cactus	x						x				
<i>Origanum laevigatum</i> 'Rosenkuppel'	Ornamental Oregano	x			1	2		x	x			
<i>Osteospermum barberiae</i> var. compactum	Purple Mountain Sun Daisy	x			1	1			x	x		
<i>Osteospermum</i> 'Lavender Mist'	Lavender Mist Sun Daisy	x			1	1			x	x		
<i>Papaver orientale</i>	Oriental Poppy		x		3	2			x	x		
<i>Pediocactus simpsonii</i> var. minor	Plains Cactus	x			0.5			x				
<i>Penstemon barbatus</i>	Scarlet Bugler Penstemon	x	x		3				x			
<i>Penstemon caespitosus</i>	Mat penstemon	x			0.5				x	x		
<i>Penstemon caespitosus</i> 'Claude Barr'	Claude Barr Penstemon	x			0.5	3		x	x			
<i>Penstemon digitalis</i> 'Husker Red'	Red Leaved Penstemon		x		2.5	2			x	x		
<i>Penstemon eatonii</i>	Firecracker Penstemon	x	x		2.5				x			
<i>Penstemon grandiflorus</i> 'Prairie Jewel'	Prairie Jewel Penstemon		x		3				x			
<i>Penstemon x mexicali</i> 'Pikes Peak Purple'	Pikes Peak Purple Penstemon	x			1.5	1			x			
<i>Penstemon x mexicali</i> 'Red Rocks'	Red Rocks Penstemon	x			1.5	1			x			
<i>Penstemon pinifolius</i>	Pine-Leaf Penstemon	x			1				x			
<i>Penstemon pinifolius</i> 'Mersea Yellow'	Mersea Yellow Penstemon	x			1				x			
<i>Penstemon strictus</i>	Rocky Mountain Penstemon	x			4	3			x	x		
<i>Penstemon teucrioides</i>	Gemander penstemon	x			0.5				x	x		
<i>Penstemon virens</i>	Blue mist penstemon	x			0.5					x		
<i>Perovskia atriplicifolia</i>	Russian Sage		x		5	4		x	x			
<i>Perovskia atriplicifolia</i> 'Little Spire'	Dwarf Russian Sage	x			2	2			x	x		
<i>Persicaria affinis</i>	Himalayan Border Jewel	x			1	2			x	x		
<i>Petalostemon purpureum</i>	Prairie Clover	x	x		3			x	x			
<i>Phlomis russeliana</i>	Hardy Jerusalem Sage	x			0.25				x			
<i>Phlox subulata</i>	Creeping Phlox	x			0.5				x	x		
<i>Physostegia virginiana</i>	Obedient Plant	x								x		
<i>Platycodon grandiflorus</i> 'Sentimental Blue'	Blue balloon flower	x			1	1.5				x		
<i>Potentilla neumanniana</i>	Creeping Potentilla	x			0.5	2			x	x		
<i>Pulsatilla patens</i>	Pasque flower	x			1	0.5			x	x		
<i>Pulsatilla vulgaris</i>	European Pasque Flower	x			1	1			x	x		
<i>Ratibida columnifera</i>	Prairie Coneflower/Mexican Hat	x			2	2		x	x			
<i>Ruschia hamata</i>	Trailing loeplant	x			0.5	1.5			x			
<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm Black-eyed Susan	x			2.5	2.5			x	x		
<i>Rudbeckia subtomentosa</i>	Sweet Black-eyed Susan		x		4	2			x	x		
<i>Rudbeckia triloba</i>	Three Leaved Coneflower	x			3	1.5			x	x		

Botanical (Latin) Name	Common Name	S	M	L	Ht	Wdth	Ft On Center	Street Tree*	1*	2*	3	4 (turf)
<i>Salvia argentea</i>	Silver Sage	x			1	2				x		
<i>Salvia nemorosa</i> 'East Friesland'	East Friesland Sage	x			2.5	2				x37		
<i>Salvia nemorosa</i> 'May Night'	Sage	x			1.5	1.5			x	x		
<i>Salvia officinalis</i>	Garden Sage			x	3	2			x	x		
<i>Salvia x superba</i> 'May Night'	May Night Sage	x			2	1.5				x	x	
<i>Salvia sylvestris</i> x 'Mainacht'	May Night Salvia	x							x	x		
<i>Salvia verticillata</i> 'Purple Rain'	Purple Rain Sage	x			2.5					x		
<i>Santolina chamaecyparissus</i>	Lavender Cotton	x			1.5	1.5				x	x	
<i>Saponaria ocymoides</i>	Soapwort	x			0.5					x	x	
<i>Saxifraga opp</i> 'Purple Robe'	Purple Robe Saxifrage	x			0.5	1				x	x	
<i>Scabiosa caucasica</i>	Pinchusion Flower	x			1						x	x
<i>Scilla sibirica</i>	Siberian Squill	x			0.25					x	x	
<i>Scutellaria resinosa</i>	Prairie Skullcap	x			1	1				x		
<i>Sedum kamtschaticum</i>	Yellow-Flowering Sedum	x			0.5	1			x			
<i>Sedum</i>	Sedum	x			1	1			x			
<i>Sedum pinifolium</i> 'Blue Spruce'	Blue Spruce Sedum	x			1	2			x			
<i>Sedum spectabile</i> 'Autumn Joy'	Autumn Joy Sedum	x			2	1			x			
<i>Sedum spurium</i> 'Red Carpet'	Dragon's Blood Sedum	x			0.5	1			x			
<i>Sempervivum hybrida</i>	Hens and Chicks	x			0.5	1			x			
<i>Sidalcea malviflora</i>	Hollyhock		x		4	2					x	
<i>Solidago rugosa</i> 'Fireworks'	Rough Goldenrod			x	2	2.5					x	x
<i>Solidago sphacelata</i> 'Golden Fleece'	Dwarf Goldenrod	x			1.5	1.5						
<i>Stachyz byzantina</i>	Lamb's Ears	x			1	1.5				x	x	
<i>Stanleya pinnata</i>	Prince's Plume				5	3			x	x		
<i>Symphotrichum novae-angliae</i>	New England Aster	x			3	2					x	
<i>Tanacetum densum</i>	Partridge Feather	x			0.5	1				x		
<i>Tanacetum niveum</i>	Showy Tansy	x	x		2.5					x		
<i>Teucrium chamaedrys</i>	Gemander	x			1					x	x	
<i>Thymus citriodorus</i>	Lemon Thyme	x			0.25					x	x	
<i>Thymus praecox</i> 'Pseudolanuginosus'	Woolly Thyme	x			0.25					x	x	
<i>Thymus serpyllium</i> 'Pink Chintz'	Pink Chintz Creeping Thyme	x			0.25					x		
<i>Tulipa spp</i>	Tulip	x								x	x	
<i>Verbascum</i> 'Jackie'	Jackie Mullen		x		2	1				x		
<i>Veronica austriaca</i> 'Crater Lake'	Crater Lake Veronica	x			1.5	0.75				x	x	
<i>Veronica liwanensis</i>	Turkish Veronica	x			0.25	1.5					x	
<i>Veronica pectinata</i>	Woolly Veronica	x			0.25	0.5				x		
<i>Veronica prostrata</i>	Prostrate Veronica	x			0.25	1				x		
<i>Veronica spicata</i> 'Royal Candles'	Royal Candles Spiked Speedwell	x			0.75	0.5				x		
<i>Veronica spicata</i> 'Goodness Grows'	Goodness Grows Spiked Speedwell	x			1	1					x	
<i>Veronica spicata</i> 'Icicle'	Spiked White Speedwell	x			1.5	1				x	x	
<i>Veronica spicata</i> 'Red Fox'	Red Fox Spiked Speedwell	x			1	1				x	x	
<i>Veronica</i> 'Sunny Border Blue'	Sunny Border Blue Veronica	x			1.5	1				x	x	
<i>Vinca minor</i> 'Bowles'	Periwinkle	x			0.5	1					x	x
<i>Viola corsica</i>	Corsican Violet	x			0.5	0.75					x	x
<i>Waldsteina ternata</i>	Barren Strawberry	x			0.5	1					x	
<i>Zauschneria garrettii</i> 'Orange Carpet'	Orange Carpet California Fuchsia	x			1	3			x	x	x	
<i>Zinnia grandifolia</i>	Rocky Mountain Zinnia	x			0.25	1			x	x		

Vines

<i>Campsis radicans</i>	Trumpet Vine				x	30	30			x	x	
<i>Lathyrus latifolia</i>	Sweet Pea					5	1			x	x	
<i>Lonicera heckrottii</i>	Goldflame Honeysuckle		x	x						x		
<i>Lonicera japonica</i> 'Halliana'	Half's Honeysuckle		x	x	30	6				x		
<i>Parthenocissus tricuspidata</i>	Boston Ivy		x	x	40						x	
<i>Parthenocissus quinquefolia</i> 'Englemann'	Virginia Creeper		x	x					x	x		
<i>Polygonum aubertii</i>	Silver Lace Vine		x	x	40	40				x		

Grasses

<i>Andropogon gerardii</i>	Big Bluestem Grass			x	x	6	3			x	x	
<i>Agropyron cristatum</i>	Crested Wheatgrass	x	x			3	2			x	x	
<i>Agropyron cristatum</i> 'Ephrium'	Ephraim Crested Wheatgrass	x				2	1			x	x	
<i>Agropyron smithii</i>	Western Wheatgrass	x				2				x	x	
<i>Bouteloua curtipendula</i>	Sideoats Grass	x				2	1			x		
<i>Bouteloua gracilis</i>	Blue Grama	x				1				x	x	
<i>Buchloe dactyloides</i>	Buffalo Grass	x				1				x	x	
<i>Calamagrostis x acutifolius</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass		x			5	2			x	x	
<i>Deschampsia caepitosa</i>	Tufted Hairgrass	x	x							x	x	
<i>Elymus canadensis</i>	Canada Wildrye		x			5	3			x	x	
<i>Elymus lanceolatus</i>	Northern Wheatgrass	x	x			4				x	x	
<i>Elymus trachycaulus ssp. trachycaulus</i>	Slender Wheatgrass	x	x			1				x	x	
<i>Elytrigia intermedia</i>	Pubescent Wheatgrass	x				4					x	
<i>Eragrostis trichodes</i>	Sand Love Grass		x			5	3			x	x	

Botanical (Latin) Name	Common Name	S	M	L	Ht	Width	Ft On Center	Street Tree ^a	1*	2*	3	4 (turf)
<i>Erianthus ravennae</i>	Plume Grass			x	15				x	x		
<i>Festuca arundinacea</i>	Tall Fescue	x	x		3				38			x
<i>Festuca glauca</i> 'Elijah Blue'	Blue Fescue	x			1	1			x	x		
<i>Festuca trachyphylla</i> 'Durar'	Durar Hard Fescue	x			0.5				x	x		
<i>Helictotrichon sempervirens</i>	Blue Avena/Oat Grass	x	x		4	2.5			x	x		
<i>Imperata cylindrica</i>	Japanese Blood Grass	x			1						x	x
<i>Koeleria macrantha</i>	June Grass	x			1				x			
<i>Miscanthus sinensis</i>	Maiden Grass		x		10	4					x	
<i>Nassella tenuissima</i>	Mexican Feather Grass	x	x		2	1			x	x		
<i>Oryzopsis hymenoides</i>	Indian Rice Grass	x			2	2			x	x		
<i>Panicum virgatum</i>	Switchgrass	x	x		5				x			
<i>Pennisetum alopecuroides</i> 'Hameln'	Fountain Grass				3	3						
<i>Pennisetum orientale</i>	Fountain Grass	x			2	2			x	x		
<i>Pennisetum setaceum</i> 'Rubrum'	Purple Fountain Grass		x		4	3			x	x		
<i>Poa compressa</i>	Canada Bluegrass	x			0.5	0.5					x	
<i>Poa compressa</i> 'Reubens'	Reubens Canada Bluegrass	x			0.5	0.5					x	
<i>Saccharum ravennae</i>	Hardy Pampas Grass			x	15						x	x
<i>Schizachyrium scoparium</i>	Little Bluestem	x			3				x	x		
<i>Sorghastrum nutans</i>	Indian Grass		x		6				x	x		
<i>Sporobolus heterolepis</i>	Prairie Dropseed		x		3	3					x	x

Annuals

<i>Coreopsis tinctoria</i>	Golden Coreopsis	x	x		3	0.5					x	
<i>Cosmos bipinnatus</i>	Cosmos		x		4	1					x	
<i>Eschscholzia californica</i>	California Poppy	x			1	1			x	x		
<i>Gomphrena globosa</i>	Globe Amaranth	x			1.5	1.5			x	x		
<i>Lavatera trimestris</i>	Annual Mallow		x		4	2					x	
<i>Portulaca grandiflora</i>	Moss Rose	x			0.5	1			x	x		
<i>Rudbeckia hirta</i>	Gloriosa Daisy	x	x		3	2					x	
<i>Salvia sclarea</i>	Clary Sage		x		3	2					x	
<i>Sanvitalia procumbens</i>	Creeping Zinnia	x			0.5	1			x	x		
<i>Tropaeolum majus</i> 'Alaska'	Nasturtium	x			1	1			x	x		
<i>Zinnia angustifolia</i>	Narrowleaf Zinnia	x			1.5	1.5					x	

Native Grass (Seed) Mixes

Low Grow Mix

A mixture of low growing (8-12 inches), drought tolerant grasses suitable for areas where mowing is difficult or not desirable: 30% Ephraim Crested Wheatgrass 25% Dwarf Perennial Ryegrass 20% SR3200 Blue Fescue 15% Reubens Canada Bluegrass 10% Chewings

Foothills Mix

A mixture developed for elevations of 3,000 to 8,000 feet to provide natural cover under dryland conditions. Contains both cool and warm season grasses adapted to the Western Great Plains and Southwest regions. Has excellent cold and drought tolerance. Good for soil stabilization on poor soils: 15% Crested Wheatgrass; 15% Annual Ryegrass; 15% Sodar Streambank Wheatgrass; 10% Slender Wheatgrass; 10% Buffalo grass; 10% Hard Fescue Durar; 10% Pubescent Wheatgrass; 5% Sherman Bio Bluegrass; 5% Blue

Colorado Native Mix

This mixture was developed for the Rocky Mountain region. It consists of native grasses that include both cool and warm season species. Provides great cold and drought tolerance for the extremes of this region: 20% Western Wheatgrass 20% Slender Wheatgrass 15% Blue Grama 15% Buffalograss 15% Sodar Streambank Wheatgrass 10% Sherman Bio Bluegrass

Notes

* Plants in Hydrozone 1 and 2 may be used in Water Efficiency Plans (WEP)

** Relative size for plant group (e.g. Deciduous Shrubs, Evergreen Trees)

Within the sight distance triangle, no material over thirty (30) inches high is permitted.

Approved Plant Lists include: Plant Select. Plants should be used in the appropriate hydrozone.

*** Hydrozone

Hydrozone 1 is very low watering requirements
Hydrozone 2 is low watering requirements
Hydrozone 3 is moderate watering requirements
Hydrozone 4 is high water requirements

plants need less than 5" of supplemental water per growing season;
plants need less than 10" of supplemental water per growing season;
plants need less than 15" of supplemental water per growing season
plants need more than 15" of supplemental water per growing season

may be used in Water Efficiency Plans (WEP)
may be used in Water Efficiency Plans (WEP)

Development Application

Concord Business Center
Englewood, Colorado

Instructions	For Office Use Only
<ul style="list-style-type: none"> ✓ All applications must be typed or legibly printed ✓ All applicable sections must be completed ✓ All required attachments must be included ✓ This application does not cover municipal permitting submittal requirements. 	Project Name
	Job # Date
	Planning Fee Check #
Applicant	Lead Contact if Different than Applicant
Name	Name
Company	Company
Address	Address
Phone	Phone
Email	Email
Signature Date	Signature Date
Project Description	
Project Information	Project Location
Project Name	Address
Name of Architect/Engineer/Landscape Architect	Approximate Location
Proposed use	Total Property Area

CERTIFICATION

I certify the information and exhibits submitted are true and correct to the best of my knowledge and that in filing this application, I am acting with the knowledge, consent, and authority of the owners of the real property, without whose consent and authority the requested action could not lawfully be accomplished.

Applicant: _____ **Date:** _____
Name (printed)

By: _____
Signature

Overall Checklist

- 1. Pre-Application Conference
- 2. Schematic Design Submittal
- 3. Design Development Submittal
- 4. Permitting
- 5. Construction Document and Specifications Submittal

Pre-application Conference

YES	NO	N/A	1. Site Plan
			Illustrate building size and location
			Label project uses
			Illustrate parking layout and number of parking stalls
			Illustrate vehicular and pedestrian circulation
			Illustrate landscaping areas
			Illustrate outdoor pedestrian spaces
			2. Construction Schedule
			Provide proposed construction schedule

Schematic Design Submittal

YES	NO	N/A	<u>1. Cover Sheet</u>
			Name of Owner, developer, and/or builder (as applicant)
			Name and address and telephone number of person who will maintain communication with the ACC. This should be a person who will have a long-term responsibility for the project.
			Name of Project
			Name of architect, engineer, and landscape architect
			Property address
			Proposed use
			<u>2. Site Plan</u>
			All property boundaries and easements
			Required setbacks for buildings and parking areas
			All existing and proposed elements labeled
			Identification of project phasing and schedule
			All adjacent streets and buildings identified
			Total parking required and provided
			Total property area
			Total building area (gross and net rentable, as applicable)
			Total open space area
			Total driveways, parking and loading areas
			Screening of storage areas, mechanical equipment, loading docks and trash receptacles
			Site lighting locations

Schematic Design Submittal (cont'd)

YES	NO	N/A	
			3. Buildings
			Typical floor plans
			Building elevations
			Materials schedule including material type, application, location, colors and finishes
			4. Landscape Plan
			Illustrate all trees
			Illustrate all existing and proposed shrubs
			Illustrate all existing and proposed planting beds
			Identification of plant types and quantities not required at this stage
			5. Grading and Drainage Plan
			Provide grading and drainage plan
			6. Proposed Schedule
			Provide proposed construction schedule

Design Development Submittal

YES	NO	N/A	
			1. <u>Cover Sheet</u>
			All items required under Schematic Design Submittal
			2. <u>Site Plan</u>
			All items required under Schematic Design Submittal
			Site furnishings
			Signage - include dimensions, materials and finishes
			Hardscape material selections and colors
			3. <u>Buildings</u>
			All items required under Schematic Design Submittal
			Architectural details and treatments
			4. <u>Landscape Plan</u>
			All items required under Schematic Design Submittal
			All plant species identified
			5. <u>Grading and Drainage Plan</u>
			All items required under Schematic Design Submittal
			6. <u>Lighting</u>
			Site lighting fixture selection
			Photometric plan
			7. <u>Proposed schedule</u>
			Provide proposed construction schedule

Permitting Submittal

YES NO N/A

- Provide all documents necessary for municipal permitting approval.
- Provide all correspondence related to the permitting including resubmittal documents and responses to municipal comments.
- Provide a copy of all approved permits

Construction Documents and Specifications Submittal

YES NO N/A

- 1. Cover Sheet**
All items required under Design Development Submittal
- 2. Site Plan**
All items required under Design Development Submittal
- 3. Buildings**
All items required under Design Development Submittal
- 4. Landscape Plan**
All items required under Design Development Submittal
All plant species identified
- 5. Grading and Drainage Plan**
All items required under Design Development Submittal
- 6. Lighting**
All items required under Design Development Submittal
- 7. Site Construction Details**
Site construction details for all site elements
- 8. Irrigation**
Irrigation plans and details
- 9. Proposed schedule**
Provide proposed construction schedule